

St. Catherine of Alexandria Church  
107 North Main St.  
Westford, MA 01886  
Prepared for Reverend Peter F. Quinn, Reverend Joseph M. Rossi

Prepared by Office of Property Management  
Archdiocese of Boston  
66 Brooks Rd., Braintree, MA 02184



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## **St. Catherine of Alexandria Church/Offices Facilities Assessment**

### **EXECUTIVE SUMMARY**

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The purpose of this Facility Condition Assessment (FCA) Executive Summary is to identify deficiencies to assist the parish with estimated budgeting priorities for maintenance, repair and/or capital expenses.

This assessment is completed by an RCAB employee solely on a visual basis and does not include breaking apart, dismantling, removing, or moving objects. It does not guarantee that all deficiencies (and/or future deficiencies) have been identified. The recommendations for repair are based on the observations made while on site.

This assessment should not be relied upon for structural expertise. If there are structural concerns, a qualified structural engineer needs to be engaged. Repair estimates are based on national averages factored for Massachusetts. At times, estimates will be obtained from contractors and similar projects completed within the Archdiocese of Boston.

When moving forward with any repairs three estimates should be obtained before a job is awarded. Typically, repair estimates do not include the potential for code upgrades, e.g., life safety, handicapped accessibility, Architectural Access Board, etc... Repair estimates are what the work is estimated to cost today, not in five or 10 years.


Any construction/repair project estimated at \$200,000 or more must be submitted to and approved by the Pastoral Building Committee. When considering a project of this cost contact the RCAB Facilities Department for required assistance in this approval process.

This Summary is organized by the following Building Systems: Structural; Heating, Ventilation and Air Conditioning (HVAC); Plumbing; Electrical; Interior Finishes; Roofing & Drainage; Exterior Elevations; and Grounds.



## St. Catherine of Alexandria Church/Offices Facilities Assessment

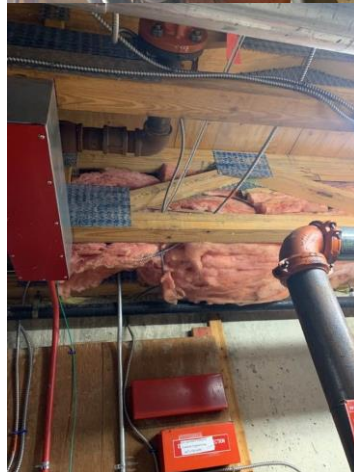
### Structural

<b>Foundation Description</b>	<p>Foundation is poured concrete and appears to be acceptable in areas that are visible. No visible indications of bulging, cracking or other deformities or concerns.</p> <p>Note photos below of first floor, truss framing, bottom section of trusses on either end are unsupported. Examples are noted in the red circles. While this has been the situation since it was built it is strongly recommended assessment by structural engineer.</p> <p>These trusses are in an area approximately 20 x 40 where the sprinkler pump system and electrical panels are in the basement. It should be confirmed the trusses in the remaining sections of the building are securely seated and supported from below. Typically, they would be sitting on the sill or some other type of perpendicular structural support from below.</p>
<b>Foundation Type</b>	Concrete
<b>Foundation Floor</b>	Slab on Grade
<b>First Floor Framing</b>	Dimensional Lumber
<b>Multi Photo</b>	



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### HVAC

#### HVAC Assessment

HVAC system seems to be in working order. There's been no indications from staff as to any problems.

Based on age of units, parish should start budgeting for replacement potentially at the five-year to ten-year mark.

Units are combination heating/cooling by Carrier. No boiler in the building.

#### Heating Plant Photos





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## St. Catherine of Alexandria Church/Offices Facilities Assessment

### Plumbing

#### Plumbing Assessment

Plumbing systems appear to be operating as intended. There's no indication of issues with its performance.

All lines drain to an ejector pump in the basement which pumps out to a septic system and leaching field. System is on a regularly scheduled pump out.

Recommend pump inspection and assessment of remaining useful life.





#### Plumbing Structures Photos





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## St. Catherine of Alexandria Church/Offices Facilities Assessment

	 
<b>Bathroom Assessment</b>	<p>Bathrooms in the building appear to be acceptable. Minimal maintenance required noted in the photos below.</p> <p>The main level bathrooms appear to be acceptable. Note photos below.</p>
<b>Bathroom Photos</b>	 



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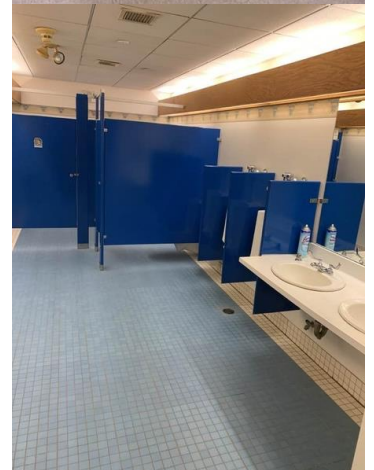
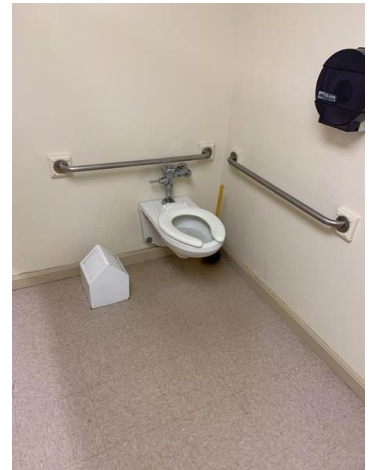
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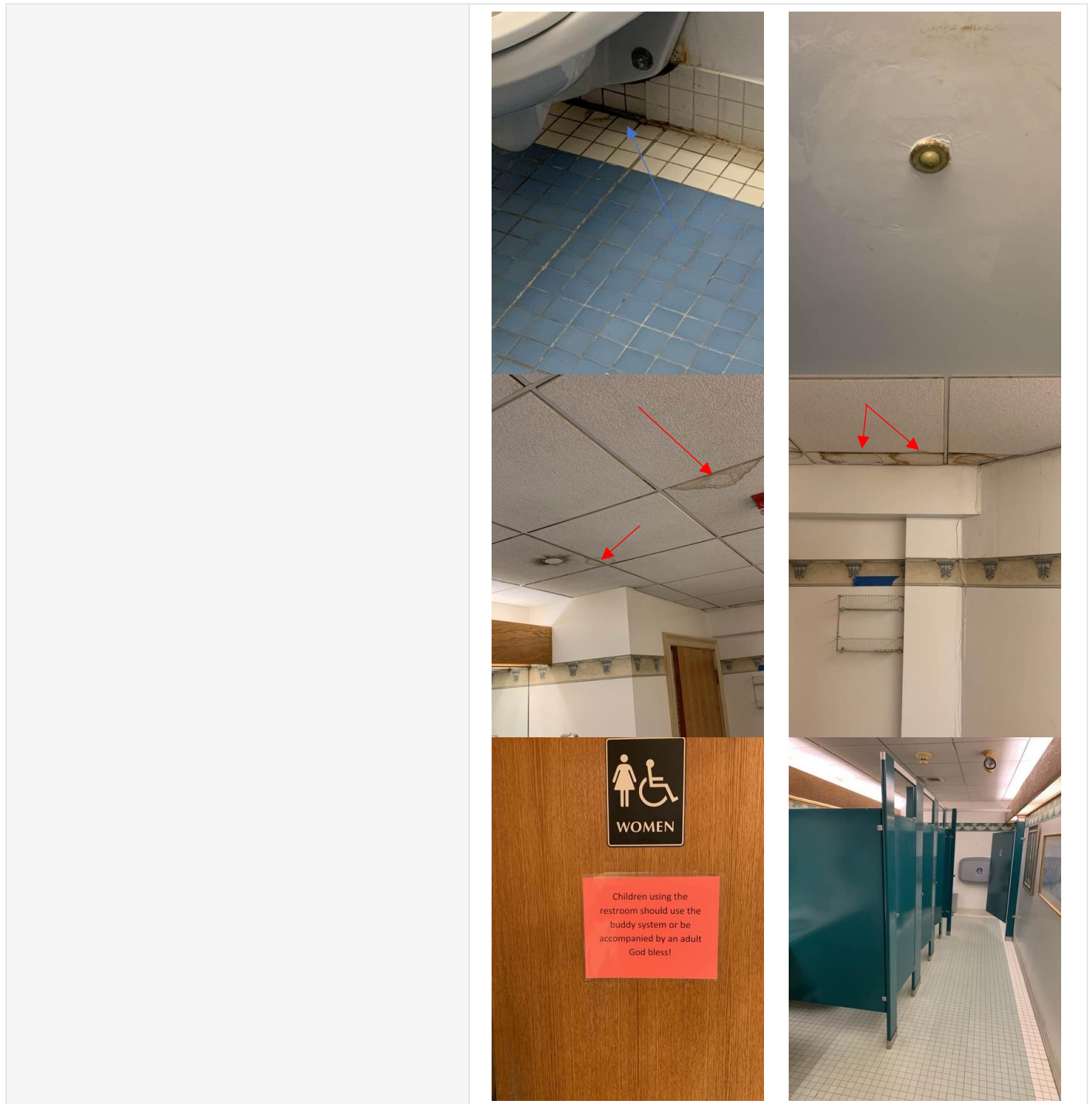
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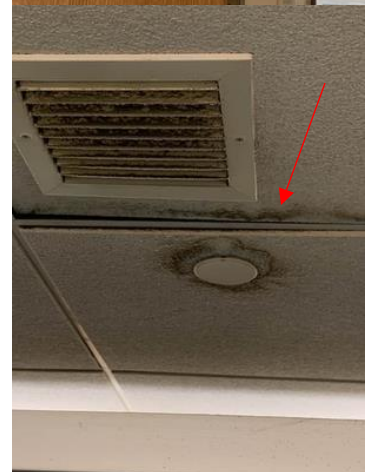






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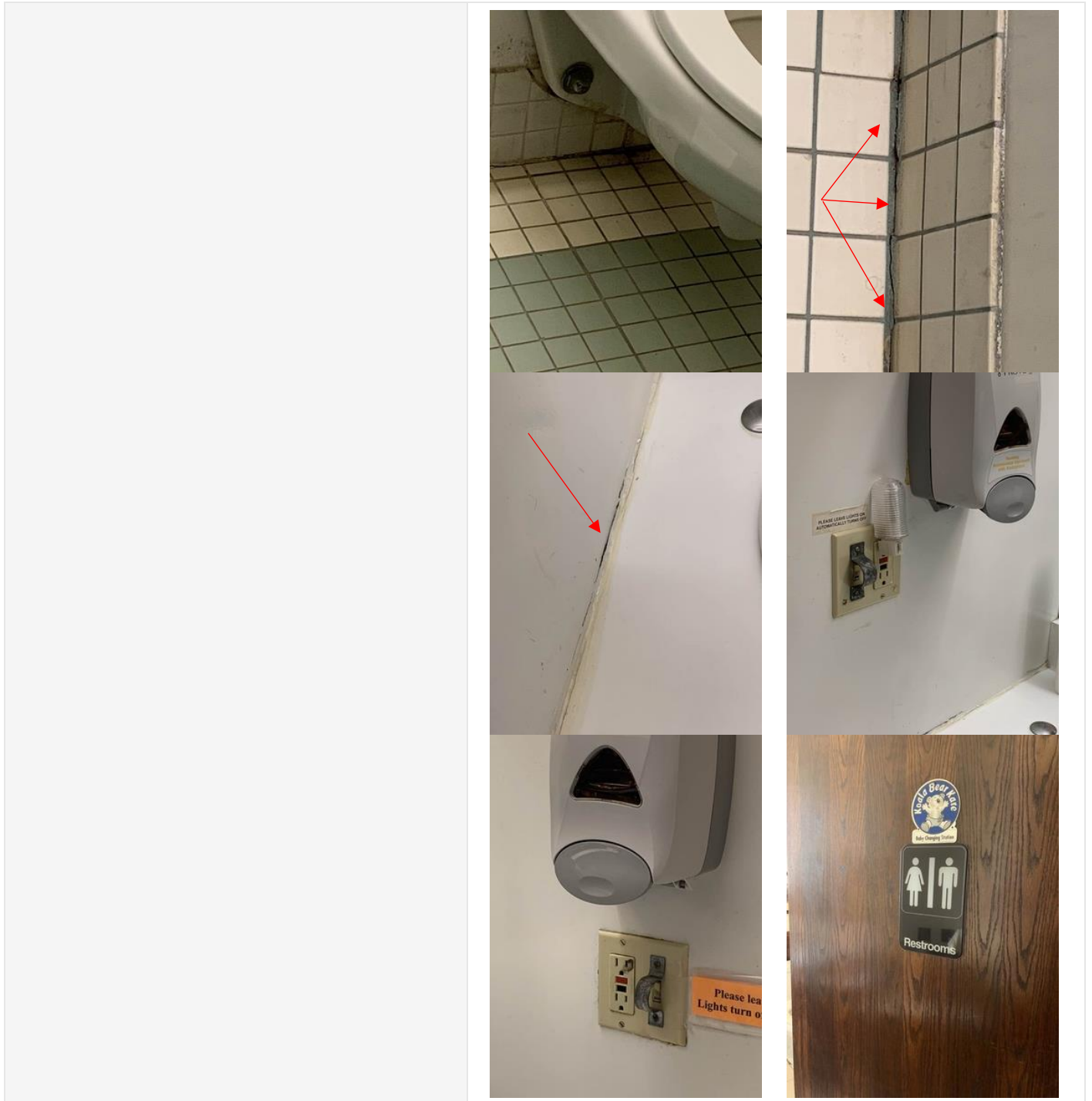
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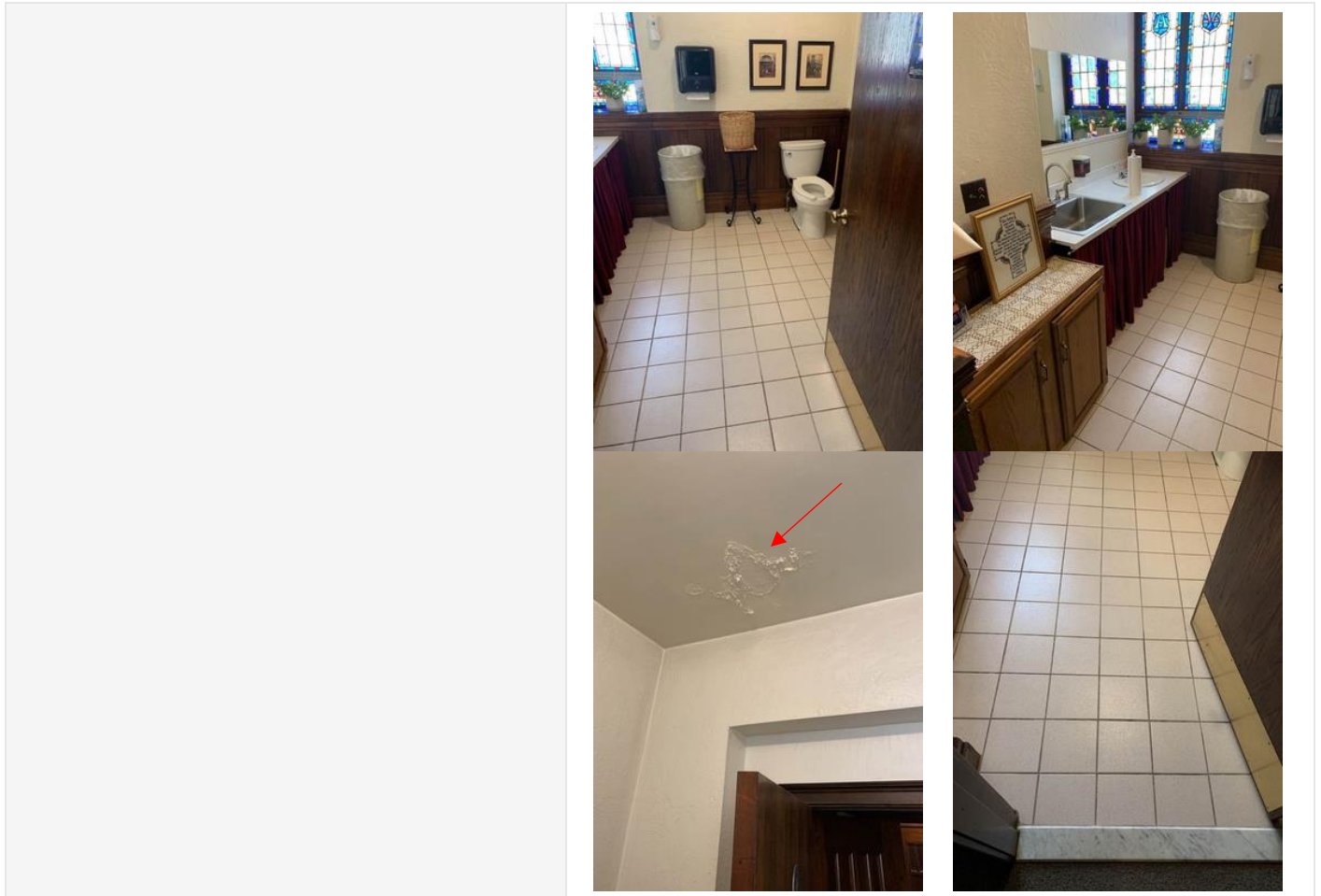
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## St. Catherine of Alexandria Church/Offices Facilities Assessment

### Electrical

#### Electrical Service

800 Amp electrical service appears to be adequate for the building. There's been no indication from staff as to performance issues or concerns.

Panels appear to be acceptable with no evidence of moisture or rusting.

Fire code requires all safety detector heads be replaced every 10 years.

#### Electrical Service Photos








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## St. Catherine of Alexandria Church/Offices Facilities Assessment

	
<b>GFCI</b>	Bathroom
<b>Fire Safety Components</b>	Smoke Conventional, Smoke Beam, Extinguishers, Lighted Exit Signs, Emergency Lights, Battery, Sprinkler System





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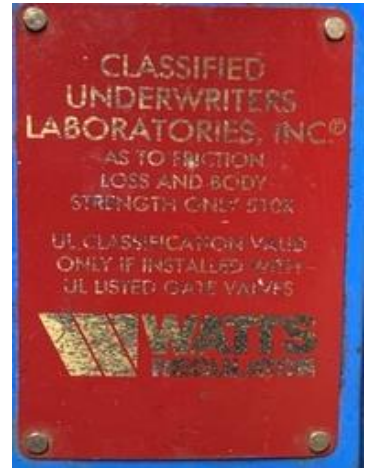
### Fire Safety Photos





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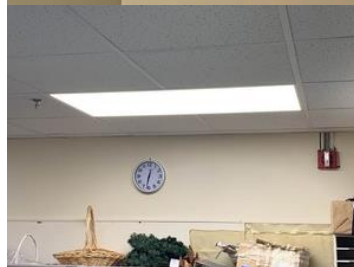
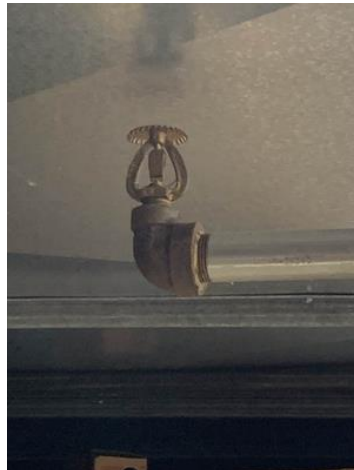
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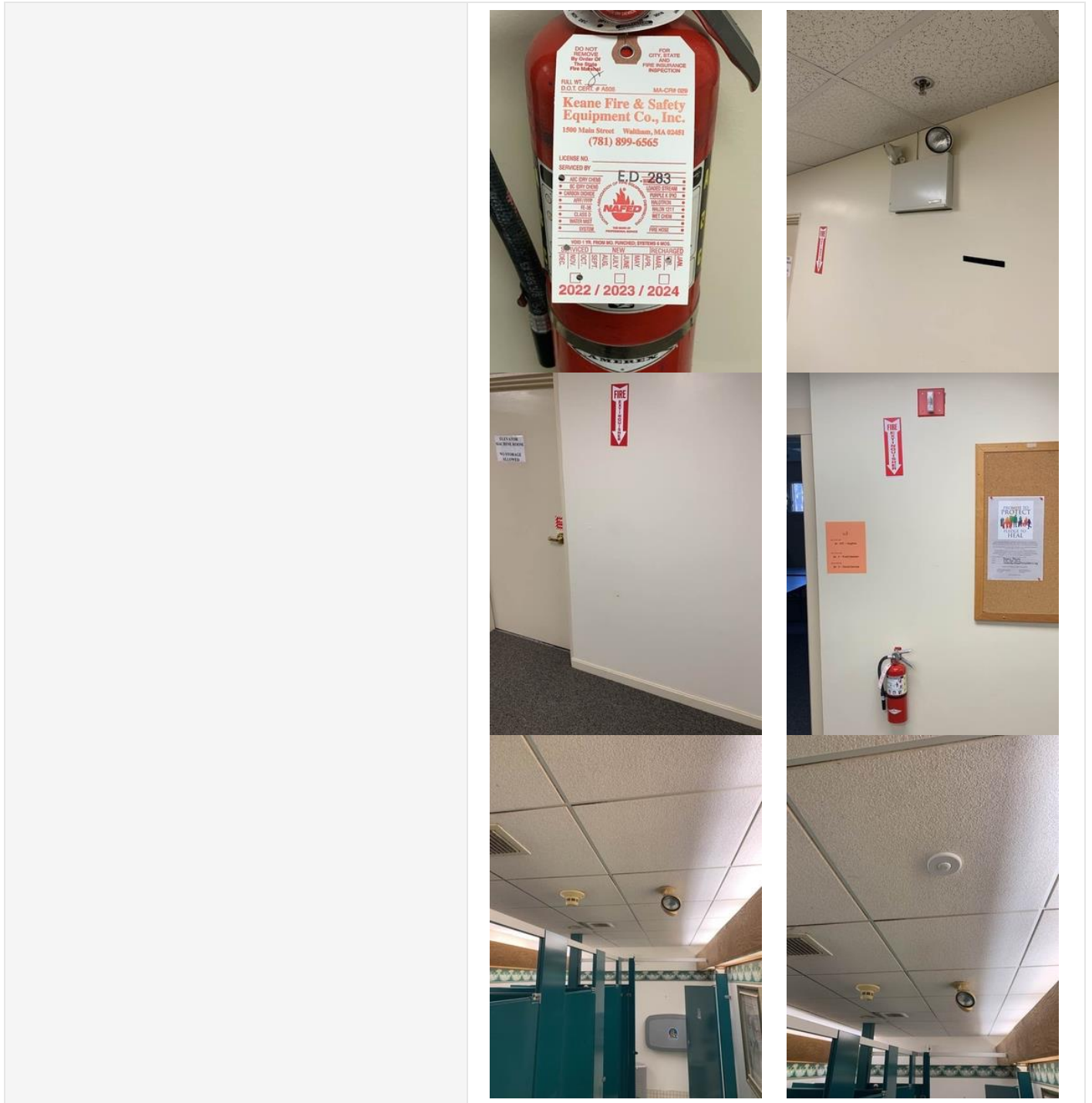






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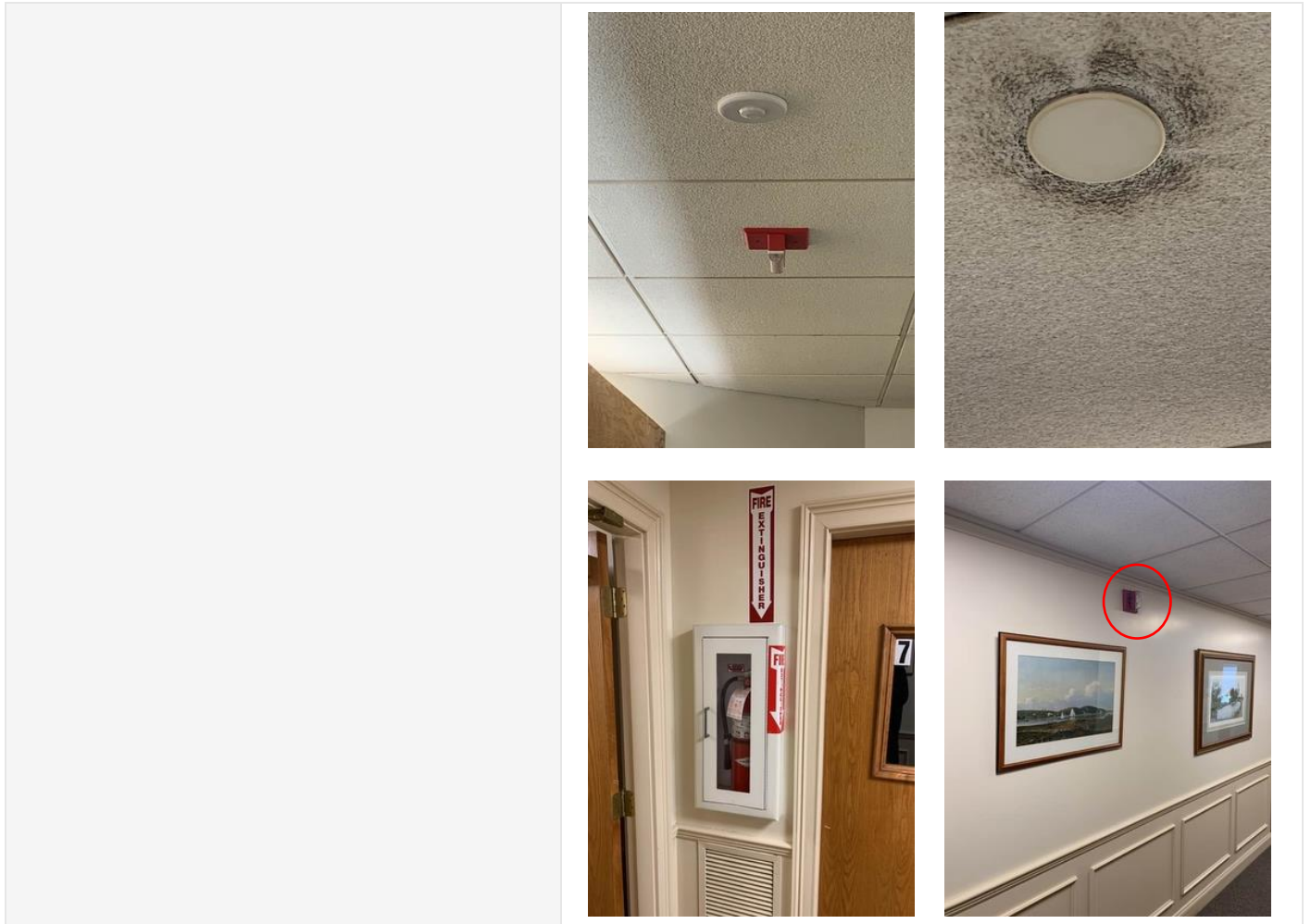
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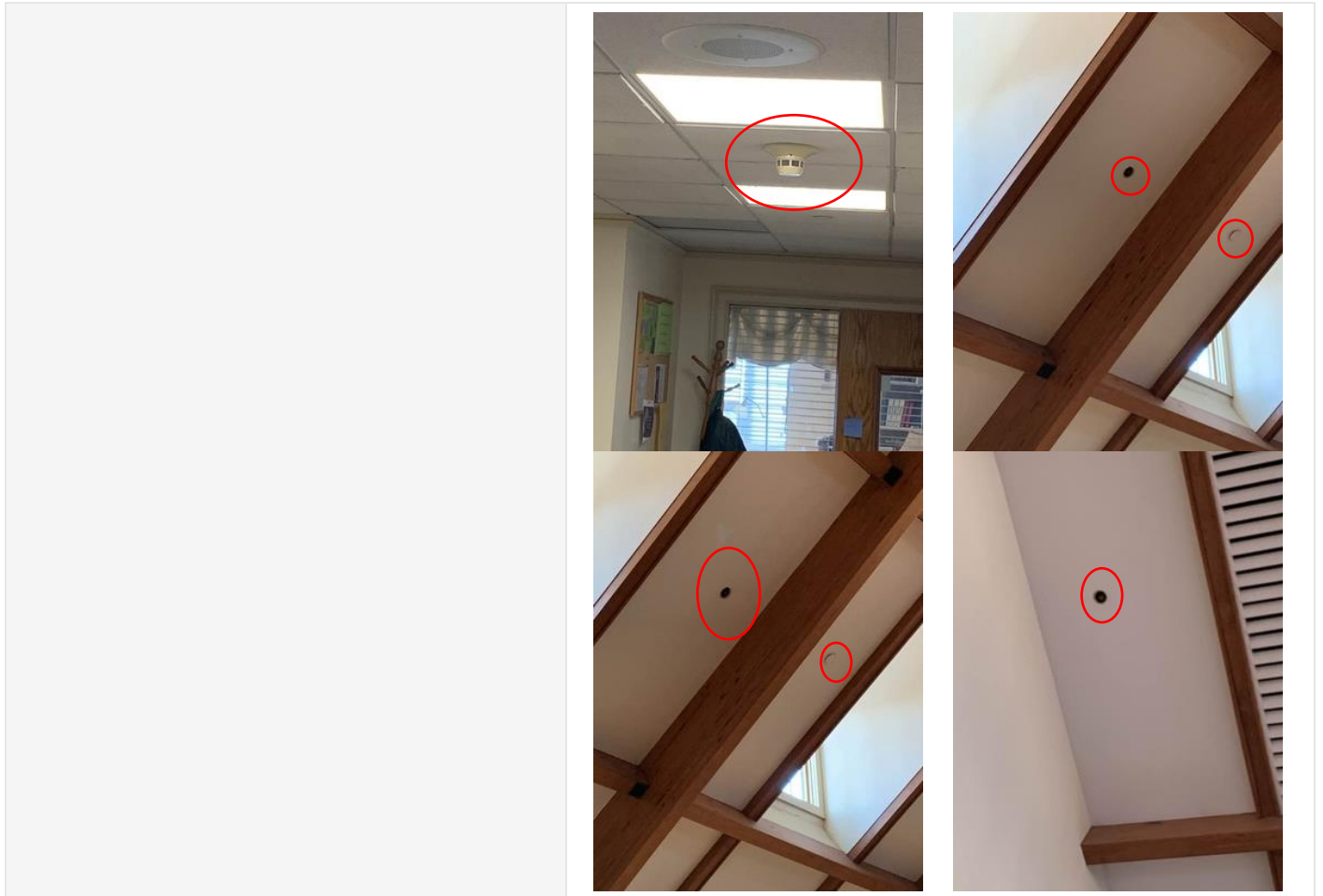






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## St. Catherine of Alexandria Church/Offices Facilities Assessment


### Interior Finishes

<b>Interior Assessment Overview</b>	<p>Interior of the building is in acceptable condition. Minor repairs are required as noted in sections and photos below.</p> <p>Lower level is a combination of rooms partitioned with aluminum studs and painted sheet rock, there are also some divisions with mobile partitions.</p> <p>On the main level there have been areas of water penetration on the ceiling due to roof leaks. This has been remediated with the installation of a new roof.</p> <p>The upper room is in acceptable condition.</p> <p>Church appears to be acceptable with minor repairs required as noted in photos and sections below.</p>
<b>Floors Assessment</b>	<p>Lower-level floors, the parish center/offices appear to be acceptable, wall-to-wall carpeting throughout and LVT/VCT flooring in the bathrooms that appear to be acceptable as well.</p> <p>There is a small roll/hump, in the women's room floor that should be monitored as the tiles will have to be replaced overtime as they are beginning to crack as noted in the photo below.</p> <p>On the main level, floors appear to be acceptable. Combination of granite tile, wall-to-wall carpeting dirt capturing rugs, ceramic tile in the bathrooms, and maple flooring in the hall.</p> <p>The upper room floor is wall-to-wall carpeting, appears to be acceptable.</p> <p>Church floors are a combination of ceramic tile, hardwood, wall-to-wall carpeting, and area rugs. All appear to be in acceptable condition.</p>



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## St. Catherine of Alexandria Church/Offices Facilities Assessment

Floor Types	Wall to Wall Carpeting, VCT Tiles, Granite Tile, Hardwood, Ceramic Tile
Floor Photo	



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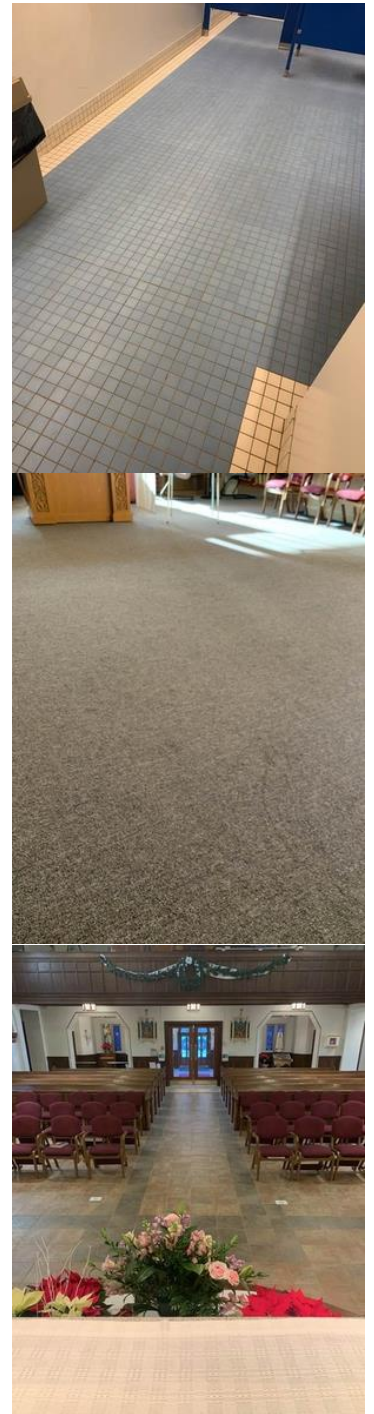






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## St. Catherine of Alexandria Church/Offices Facilities Assessment



### Ceiling Assessment

Lower level ceiling is dropped grid, 18 x 18 tiles. Appears to be acceptable. There's evidence of prior leaking, confirm cause has been remediated, and repair.

Replace tiles as needed. Examples noted in photos below. Main level ceilings are sheet rock. Appear to be acceptable. There is some remaining evidence of water penetration. The leaks have been remediated with the installation of a new roof, fall 2022.

Ceiling of the upper floor appears to be painted sheet rock and acceptable with minor repairs needed as noted in the photos below. Upper room roof trusses are trimmed in pine that appears to be shrinking, with joints opening. Recommend inspection of trusses for structural integrity. With integrity confirmed, repair/paint trusses as needed.

Church ceiling appears to be acceptable with minor repair



## St. Catherine of Alexandria Church/Offices Facilities Assessment

required as noted in photos below. Specifically, mildew or mold that is appearing on some ceiling, sections, and gable ends.

With new roof, it is assumed moisture/water penetration has been remediated on these planes. Mildew/mold will need to be remediated ceiling repainted. Budget number will be provided for painting entire plane of this area. Recommend masonry contractor inspect exterior wall sections where there is interior mildew/mold growth.

Budget numbers will appear high as it requires working at height and lift rental.

**Ceiling Photo**





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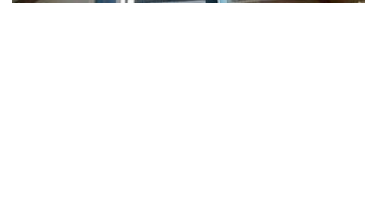
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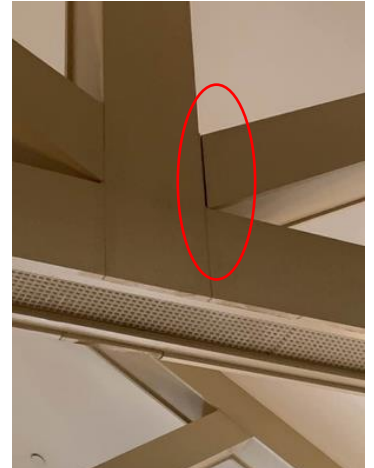




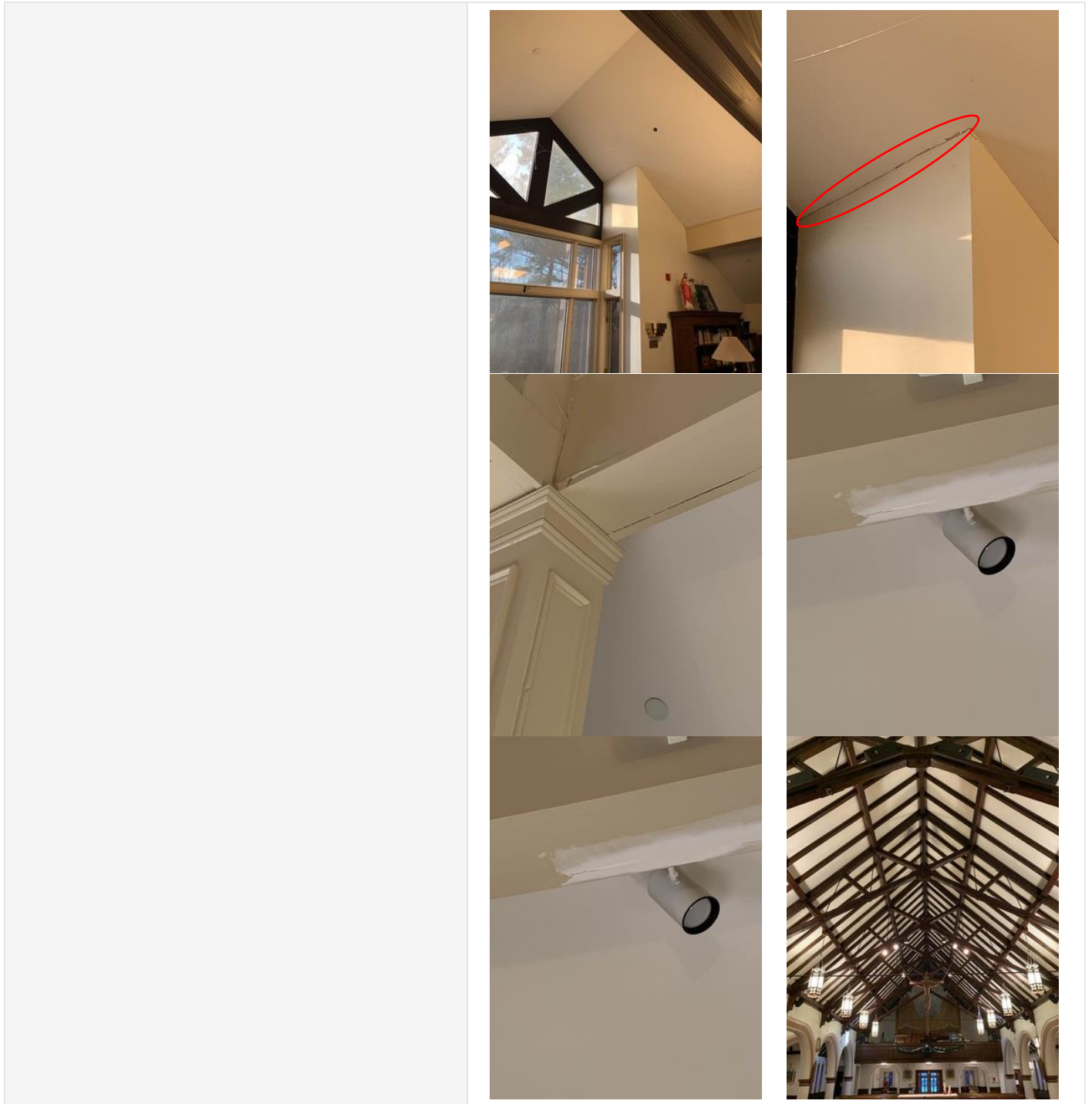


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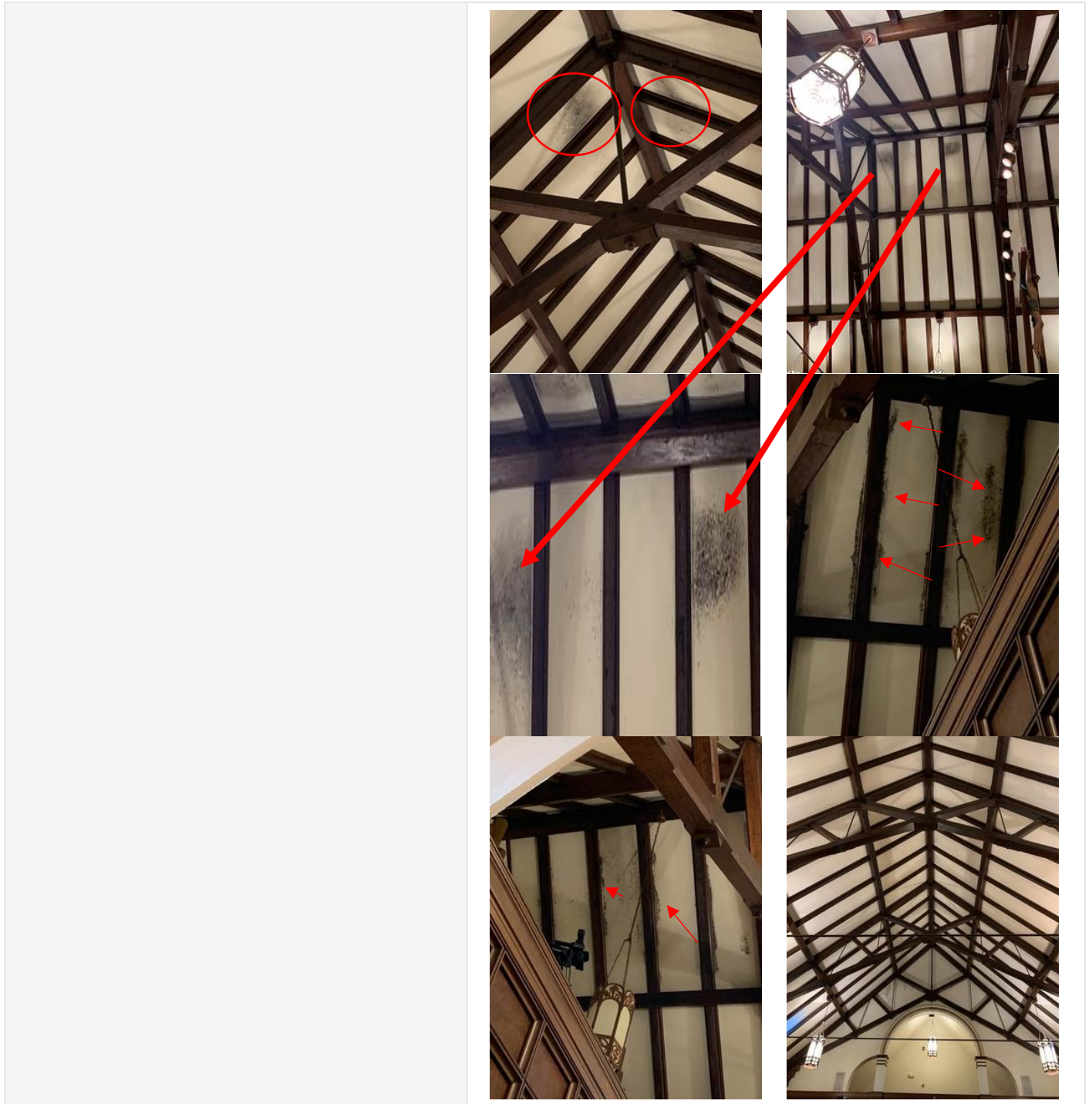
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### Wall Assessment

Walls appear to be acceptable, painted sheet rock.

Minor repairs required as noted in photos below.

Main level walls are combination of painted sheet rock and brick. Some areas have flat wood panel with trim accents, wainscoting as noted in photos below. All wall surfaces appear to be acceptable.

Upper room walls appear to be acceptable. Combination of wood, paneling, wainscoting, and painted sheet rock.

Church walls are acceptable with repair needed as noted in the photos below.

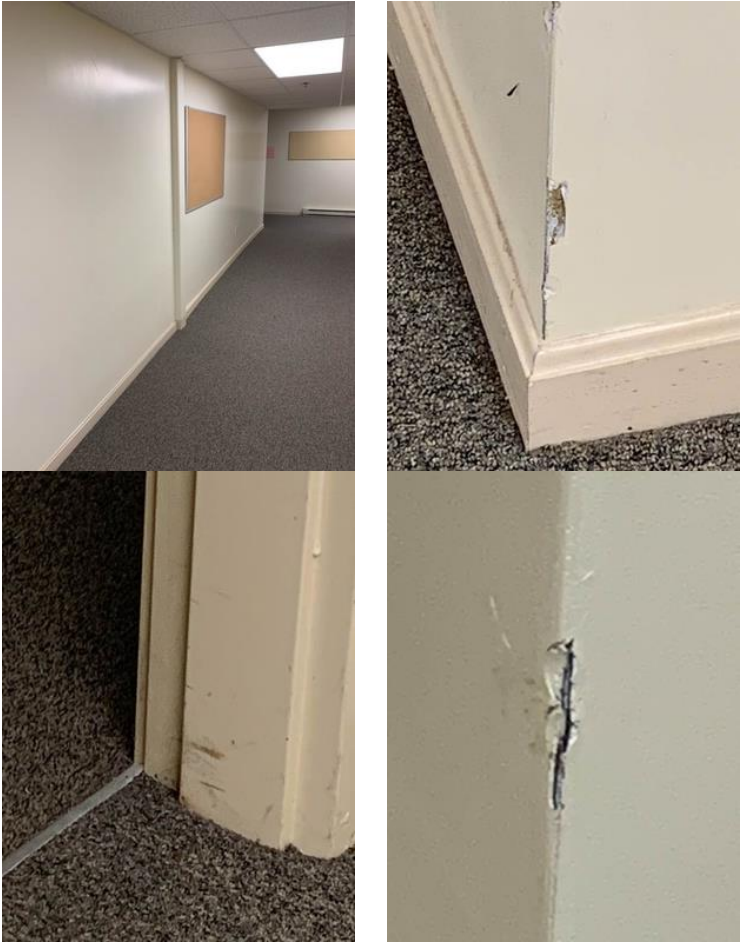
Wall behind door on the way to the basement needs repair last photo in the section.



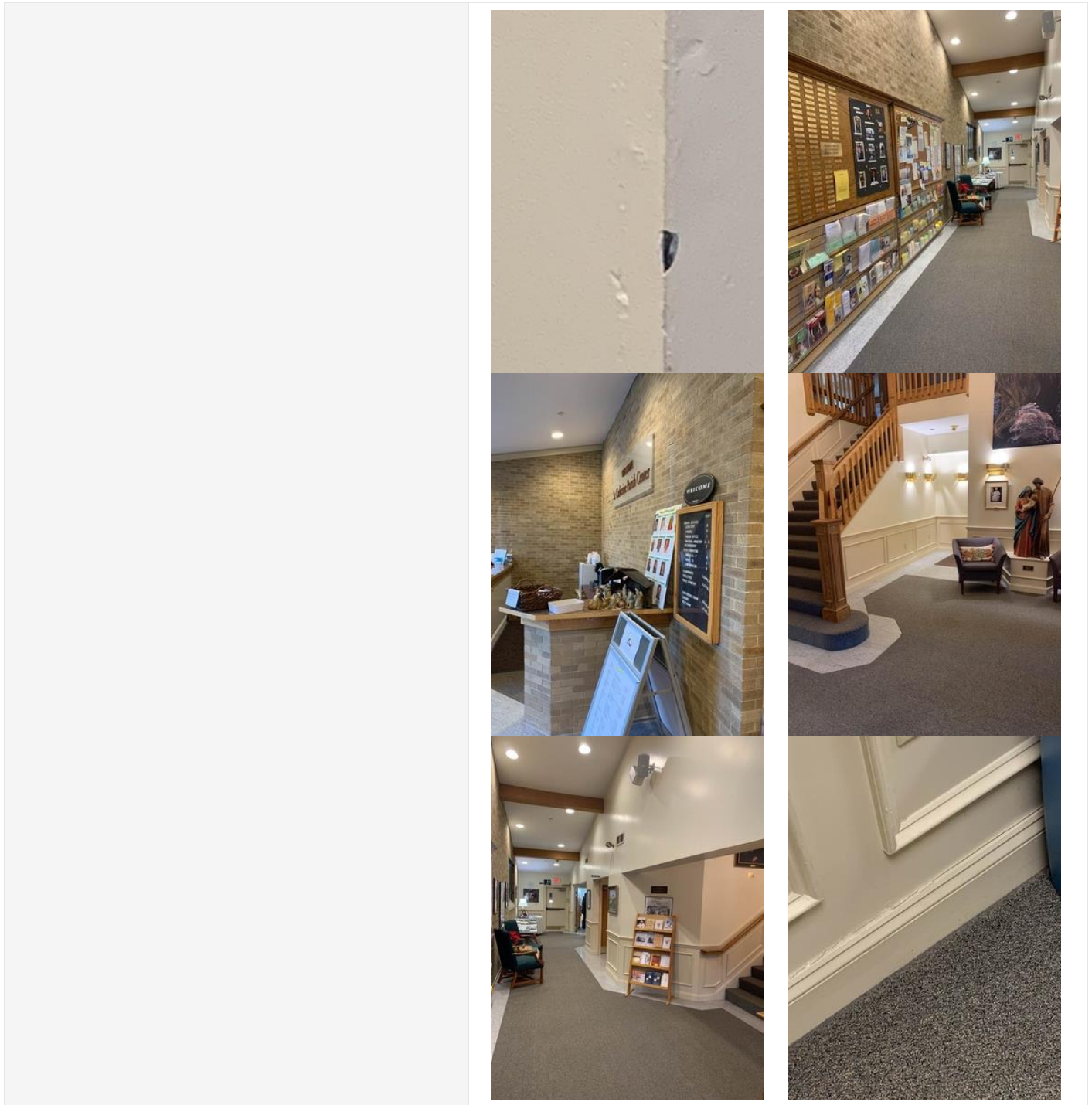


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<b>Walls</b>	Drywall, Smooth, Other
<b>Wall Photo</b>	

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## St. Catherine of Alexandria Church/Offices Facilities Assessment



### Door Assessment

Doors throughout the lower level are acceptable and appear to operate as intended.

Some may require in-jamb adjustment.

Rear door, main level, passing through to the family restroom in church needs the closer adjusted as noted in photo below.

Doors throughout first floor appear to be acceptable and operate as intended.



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## St. Catherine of Alexandria Church/Offices Facilities Assessment

All the doors on the main level appear to operate as intended.  
Church doors appear to operate as intended.

### Door Photo





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### Roof and Drainage

#### Roof Assessment

New roof was installed fall of 2022. Asphalt three tab.

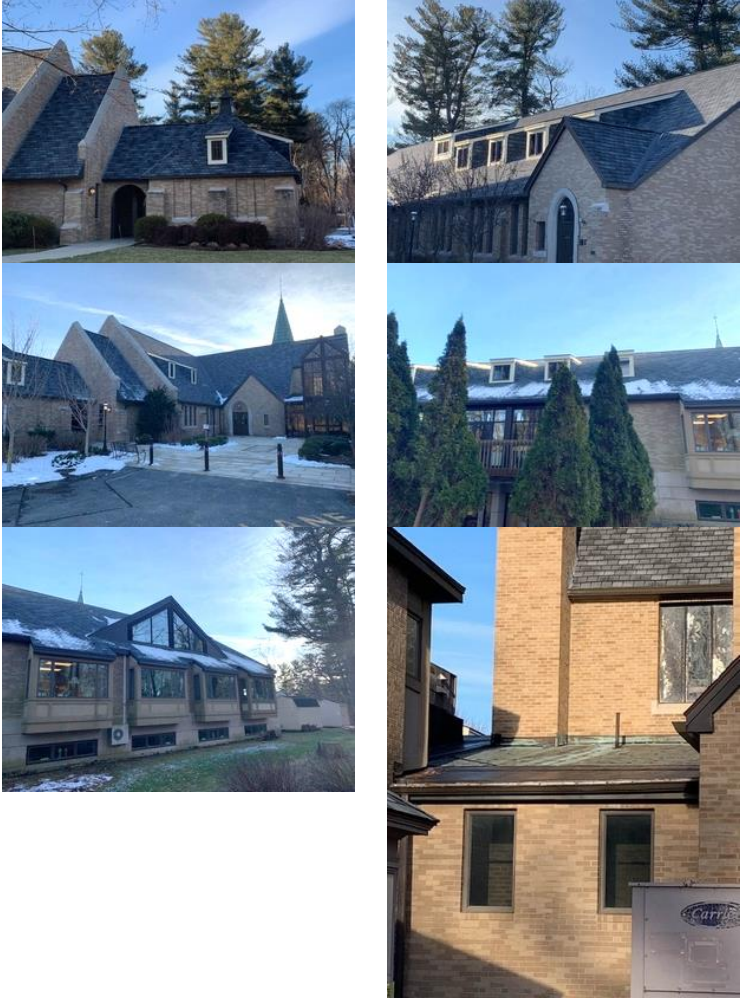
Copper and rubber roof at rear should be inspected annually.

#### Roof Photo





## St. Catherine of Alexandria Church/Offices Facilities Assessment

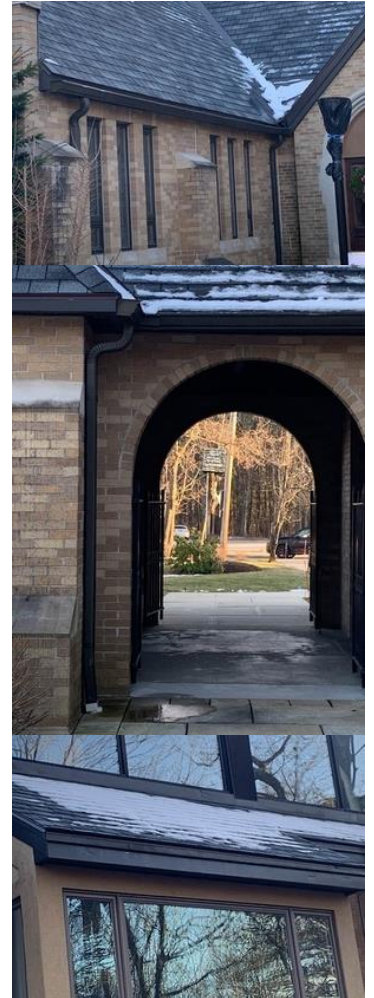
	
<b>Drainage Assessment</b>	<p>It appears that the roofing company had made some minor repairs resealing rolling gutters.</p> <p>Gutters should be maintained annually.</p>
<b>Drainage</b>	Gutters Aluminum
<b>Drainage Downspouts</b>	Aluminum



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### Drainage Photos





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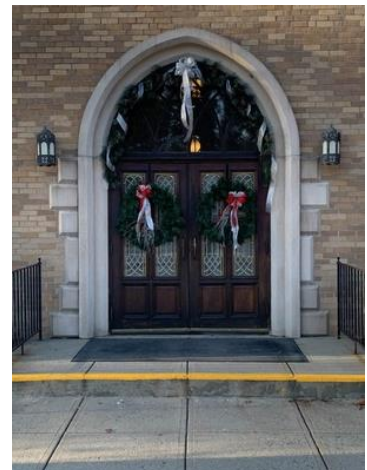
## St. Catherine of Alexandria Church/Offices Facilities Assessment

### Exterior Elevations

#### Exterior Front Wall Assessment

There is minor masonry repair required on all elevations of the building. These will be noted in sections and photos below.

#### Front Photos







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## St. Catherine of Alexandria Church/Offices Facilities Assessment



### Exterior Right Side Wall Assessment

Exterior right wall appears to be acceptable with minor repair required.

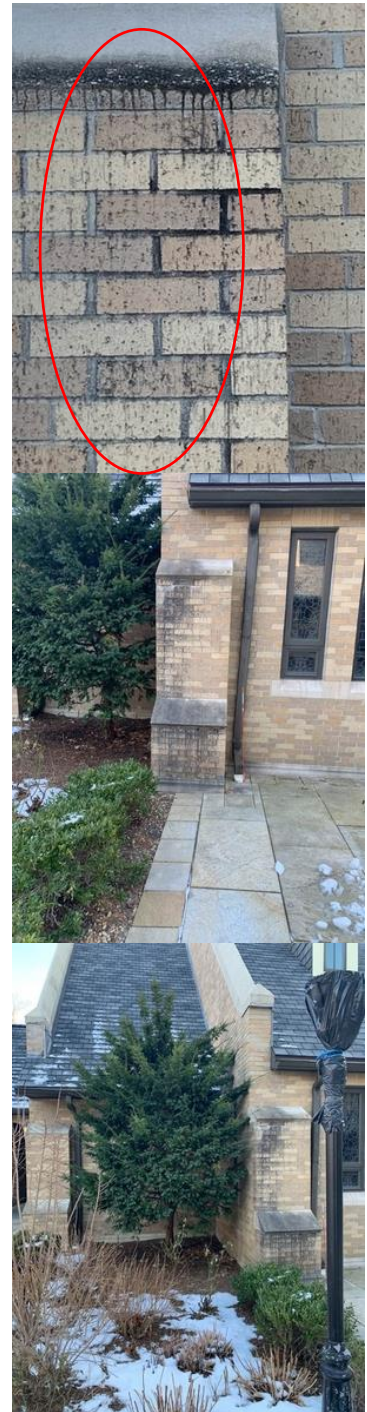
### Side Photos





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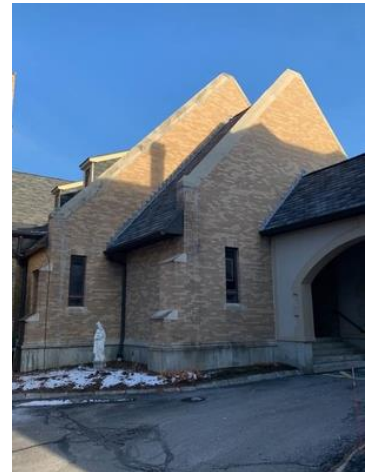
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## St. Catherine of Alexandria Church/Offices Facilities Assessment

### Exterior Left Side Wall Assessment

Exterior left side appears to be acceptable with some repointing required as noted in the photos below.

### Side Photos







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## St. Catherine of Alexandria Church/Offices Facilities Assessment

### Exterior Rear Wall Assessment

Replace post bases of rear deck is noted in photos below.

Rear elevation appears to be acceptable in terms of masonry condition.

### Rear Photos







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### Grounds







<b>Grounds Assessment</b>	Grounds are in acceptable condition. They appear to be well-maintained and cared for.
<b>Landscaping</b>	Shrubs, Trees, Mulched, Gravel, Flower beds, Plantings, Grass, Ground Cover, Cut Back from Building
<b>Landscaping Photos</b>	 





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<b>Walkways</b>	Flat, slight incline, stairs, stamped concrete, other, in field repair needed
<b>Walkway Photos</b>	   





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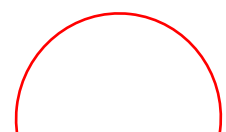
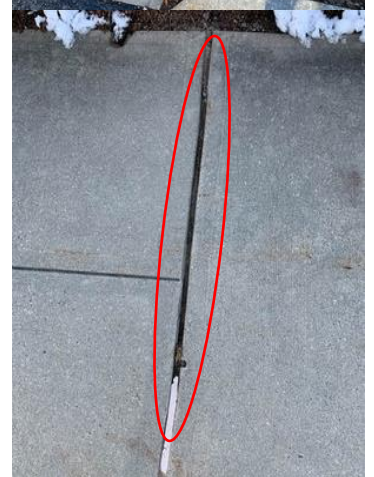
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<b>Accessibility</b>	Accessible at Grade
<b>Parking Lot</b>	Black Top, Faded Striping, Needs Crack Filling, HC Spaces Marked



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## St. Catherine of Alexandria Church/Offices Facilities Assessment

### System Budgeting Numbers

#### Structural

Budget for structural assessment of basement truss framing members, noted in photos, 1 to 18 months, \$9,200

**1-18 months \$9,200**

**1-5 years \$0**

**6-10 years \$0**

#### HVAC

Budget for replacement of heating/cooling units, 1-5 years, 6-10 years, \$90,000/unit

**1-18 months \$225**

**1-5 years \$90,000**

**6-10 years \$90,000**

#### Plumbing

Budget for replacement of sewer ejector pump, 6-10 years, \$11,500

Budget for bathroom repairs as noted in photos, 1-5 years, \$4,200

**1-18 months \$0**

**1-5 years \$4,200**

**6-10 years \$11,500**

#### Electrical

Budget to replace smoke detector heads, 6-10 years, \$10,200

**1-18 months \$0**

**1-5 years \$0**

**6-10 years \$10,200**





## St. Catherine of Alexandria Church/Offices Facilities Assessment

### Interior finishes

Budget for floor repair, 1-5 years, \$1,200

Budget for stripping and sealing of LVT flooring., 1-5 years, \$5,200

Budget for lower-level ceiling tile replacement, 1-5 years, \$1,500

Budget for main level ceiling repair, 1-5 years, \$2,350

Budget for a structural assessment of ceiling trusses in upper room, 1-18 months, \$4,200

Budget for repair and painting of upper room roof trusses, 1-5 years, \$13,900

Budget for mildew slash mold remediation and repair, 1-18 months, \$16,900

Budget for painting of remediated planes, 1-18 months, \$36,000

Budget for minor wall and door repair, 1-5 years, \$4,800

**1-18 months \$57,100**

**1-5 years \$28,950**

**6-10 years \$0**

### Roofing and Drainage

Budget for repair and maintenance of gutters, 1-5 years, \$3,500; 6-10 years, \$3,500

**1-18 months \$0**

**1-5 years \$3,500**

**6-10 years \$3,500**

### Exterior Elevations

Budget for masonry repointing/repair and precast restoration, all elevations, 1-5 years, \$80,000

Budget for masonry repointing/repair and precast restoration, all elevations, 6-10 years, \$46,000

Budget for replacement of door noted in photos, 1-5 years, \$3,800

Budget for replacement of deck post bases at rear elevation, 1-18 months, \$1,800

**1-18 months \$1,800**

**1-5 years \$83,800**

**6-10 years \$46,000**



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## St. Catherine of Alexandria Church/Offices Facilities Assessment

### Grounds

Cut back all bushes and shrubs 24 inch from building 1-18 months \$1,200

Budget for replacement of cracked stones in front apron, 1-5 years, 12,900

Budget for concrete walkway repair, 1-18 months, \$1,800

Budget for parking lot crack filling, 1-18 months, 3,800.

**1-18 months \$6,800**

**1-5 years \$12,900**

**6-10 years \$0**

### Summary of System Budget Numbers

<b>Structural</b>	1-18 months \$9,200	1-5 years \$0	6-10 years \$0
<b>HVAC</b>	1-18 months \$225	1-5 years \$90,000	6-10 years \$90,000
<b>Plumbing</b>	1-18 months \$0	1-5 years \$4,200	6-10 years \$11,500
<b>Electrical</b>	1-18 months \$0	1-5 years \$0	6-10 years \$10,200
<b>Interior</b>	1-18 months \$57,100	1-5 years \$28,950	6-10 years \$0
<b>Roofing</b>	1-18 months \$0	1-5 years \$3,500	6-10 years \$3,500
<b>Exterior</b>	1-18 months \$1,800	1-5 years \$83,800	6-10 years \$46,000
<b>Grounds</b>	1-18 months \$6,800	1-5 years \$12,900	6-10 years \$0
<b>Total</b>	<b>1-18 months \$75,125</b>	<b>1-5 years \$223,350</b>	<b>6-10 years \$161,200</b>