

St. Catherine of Alexandria Rectory
109 North Main St.
Westford, MA 01886
Winter 2023
Prepared for Reverend Peter F. Quinn, Reverend Joseph M. Rossi

Prepared by Office of Property Management
Archdiocese of Boston
66 Brooks Rd., Braintree, MA 02184



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St. Catherine of Alexandria Rectory, Facilities Assessment

EXECUTIVE SUMMARY

The purpose of this Facility Condition Assessment (FCA) Executive Summary is to identify deficiencies to assist the parish with priorities and budget for maintenance, repair and/or capital expenses. This assessment is completed by an RCAB employee solely on a visual basis and does not include breaking apart, dismantling, removing, or moving objects. It does not guarantee that all deficiencies (and/or future deficiencies) have been identified.

This assessment should not be relied upon for structural expertise. If there are structural concerns, a qualified structural engineer needs to be engaged. Repair estimates are based on national averages factored for Massachusetts. At times, estimates will be obtained from contractors.


When moving forward with any repairs three estimates should be obtained before a job is awarded. Typically, repair estimates do not include the potential for code upgrades, e.g., life safety, handicapped accessibility, Architectural Access Board, etc... Repair estimates are what the work is estimated to cost today, not in five or 10 years.

This Summary is organized by the following Building System: Structural; Heating, Ventilation and Air Conditioning (HVAC); Plumbing; Electrical; Interior Finishes; Roofing & Drainage; Exterior Elevations; and Grounds.



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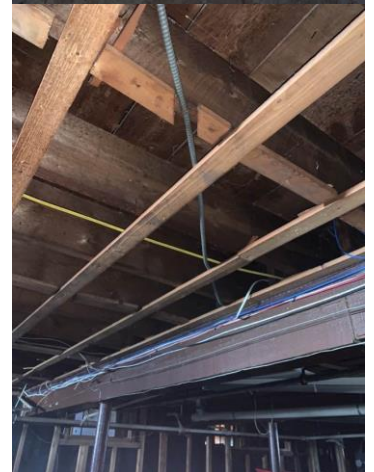
Structural

Foundation Description	Basement appears and feels dry. No musty or moisture smell. Pointed fieldstone foundation. Floor is slab on grade. Foundation appears to be acceptable.
Foundation Type	Field Stone
Foundation Floor	Slab on Grade
First Floor Support	Lolly Columns
First Floor Framing	Dimensional Lumber
Foundation Length	48
Foundation Width	33
Number of Floors	3
Calculation	4752SF
Multi Photo	



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Lolly columns and timber support dimensional lumber deck.



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HVAC

HVAC Assessment

Heat is provided by oil fired boiler

There's been no indication as to issues regarding performance.

Recommend sealing seams of smoke pipe.

Depending on water quality and maintenance approximate useful life is 25 years.

Heating Plant Photos



Boiler should be maintained annually.

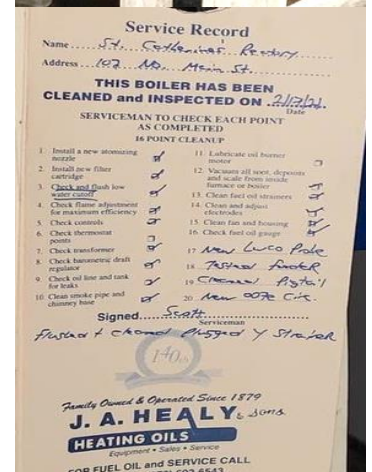
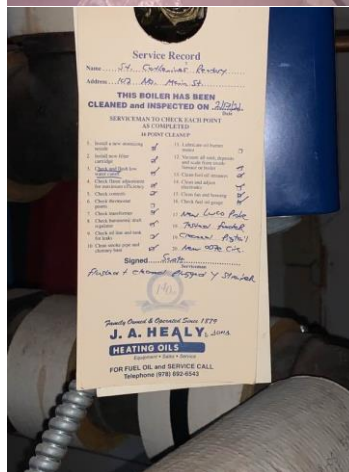
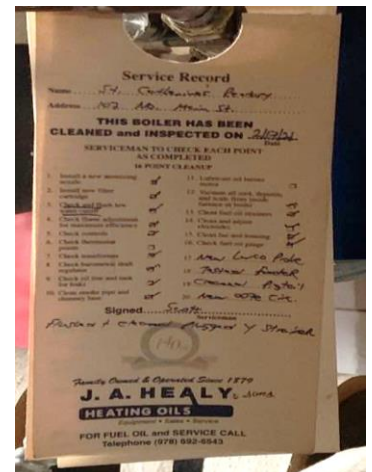


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Seal seams of smoke pipe.





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Pipe Insulation	partial, Fiberglass



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Plumbing

Plumbing Assessment

Plumbing appears to be in acceptable. There's been no indication from staff as to issues with the system.

Hot water is provided by boiler, stored in tank. Note photos below.

Cast iron drains in the basement have begun to stain/weep. Cast iron will deteriorate/corrode, from the inside out. Recommend a plumbing contractor assess current condition. And establish a timeline for replacement. A budget number will be provided in the six-to-10-year time frame.

Plumbing Structures Photos



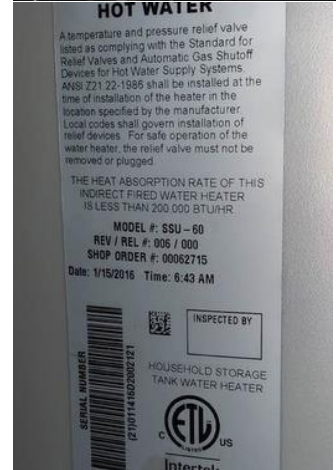
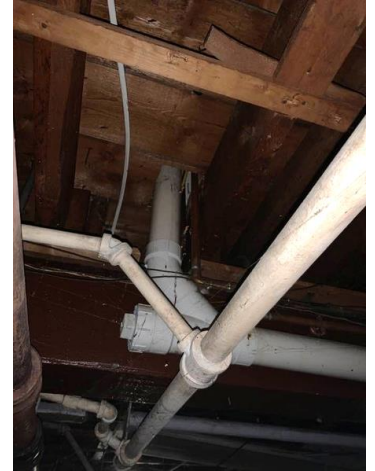
Cast iron is beginning to stain/weep.





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Will need to be replaced in the next few years.



Mfg. Date 1/15/16. Typical 10 year useful life.

Bathroom Assessment

First floor bathroom needs repair as noted in photos below. Color of the walls are yellow.

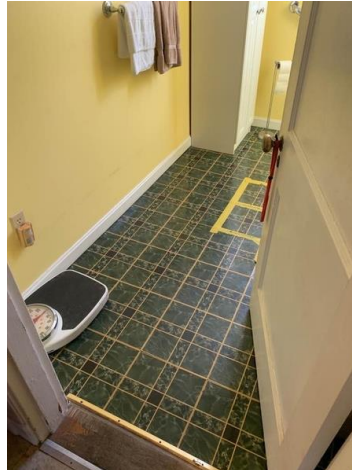
Two second floor bathrooms appear to have been updated and are acceptable any required repairs will be noted in photos below.



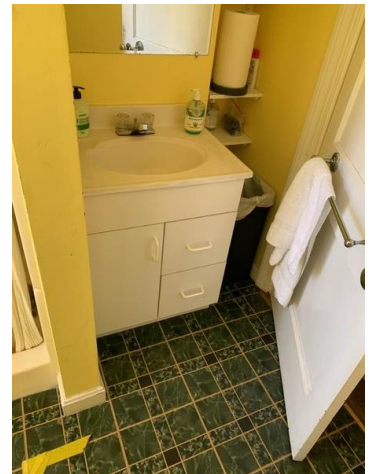
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Bathroom Photos



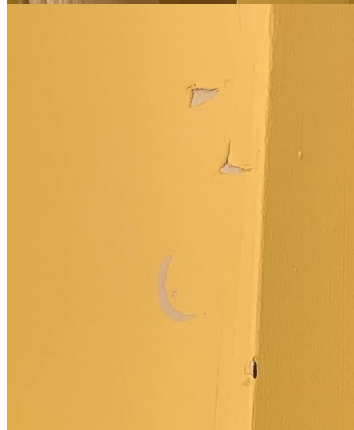
Replace flooring



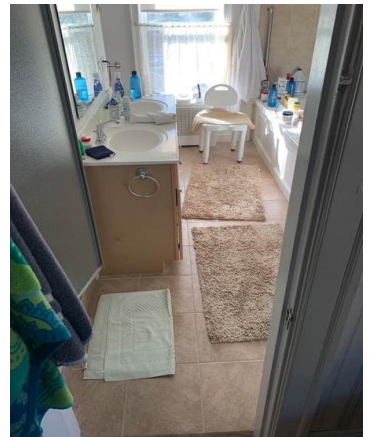


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Scrape and paint walls & trim

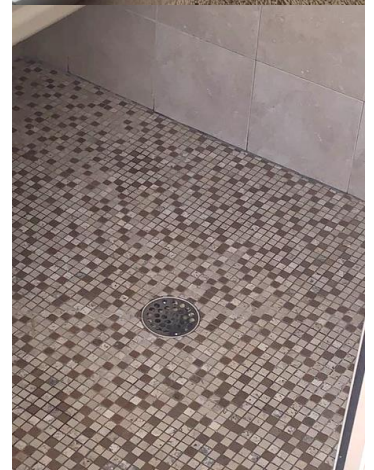
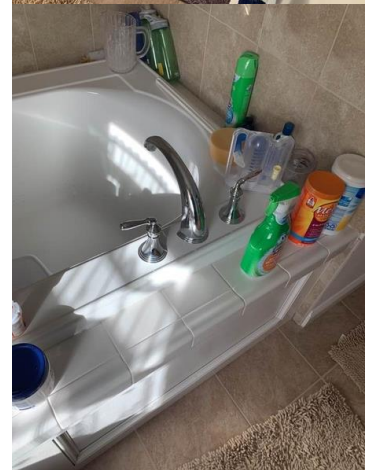
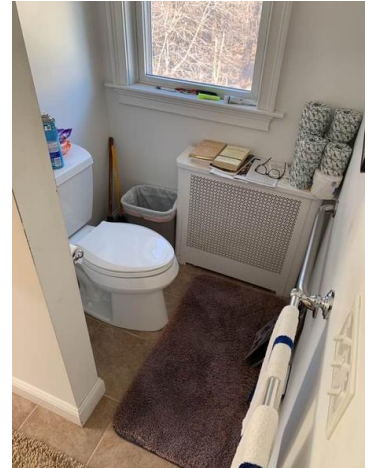


2nd floor bathroom.



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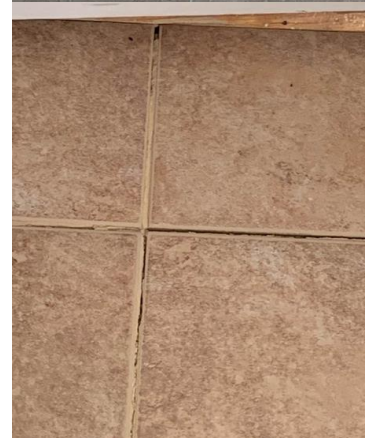
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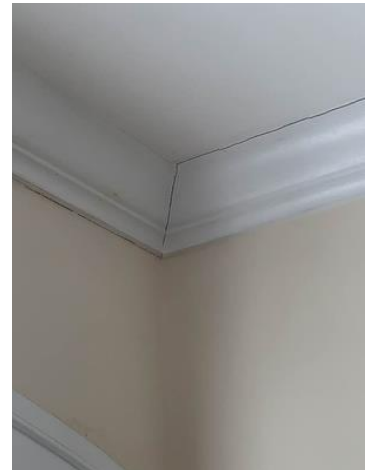
Minor regrouting needed.





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Kitchen Photos





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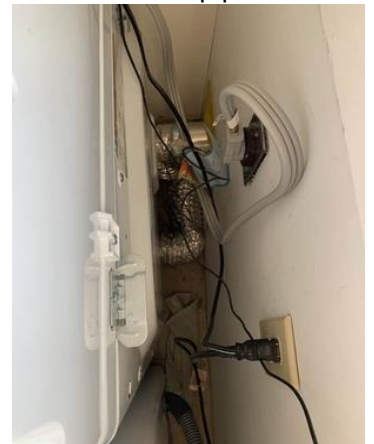
Laundry Photos



Secure outflow pipe.






Replace foil duct with aluminum flex duct.





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Electrical

Electrical Service	Electrical service is a combination of conventional wiring and existing knob and tube. If budget permits, recommend phasing out knob and tube. As it is operational without incident no budget number is provided. Recommend getting an assessment and proposal to dead the knob and tube and wire as needed.
List	Single Phase, 120/240
Branch Wiring	Knob and Tube, Romex
Electrical Service Photos	<div></div> <div></div>



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Fire Safety Photos



Replace heads every 10 years





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Interior Finishes

Interior Assessment Overview	<p>There is a fair amount of deferred maintenance on the first and second floors of the rectory. The issues are noted in the sections and photos below.</p>
Floors Assessment	<p>First floor floors are a combination of vinyl tile in the kitchen, people, thin strip in other rooms, as well as runners and room rugs.</p> <p>Recommend refinishing of maple floors in the dining room, and living area. It will be a number that would include all areas except for the foyer, which appears to have been done recently.</p> <p>Entryway to sunroom appears to be slanted. It's unknown if that is the design or it has settled. Recommend inspection of sunroom by framing by contractor.</p> <p>Second floor floors are combination of thin strip maple, room rugs, and runners.</p> <p>Second floor floors could be sanded and refinished.</p> <p>There is what appears to be considerable settlement in the hall of the second floor.</p> <p>Third floor floors are a combination of what appeared to be 2 1/2 inch or 3 inch tongue and groove oak and wall-to-wall carpeting. Some of the eaves could be insulated. However, it was noted there is concern of active knob and tube. If that could be deadheaded and Romex run insulation could occur.</p>



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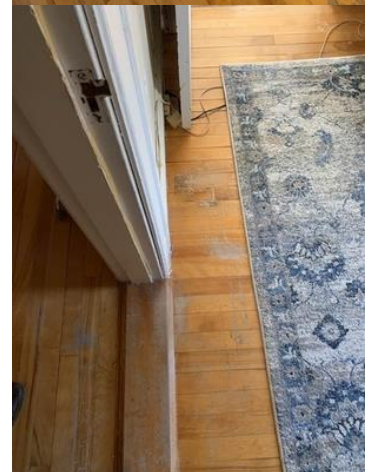
Floor Photo





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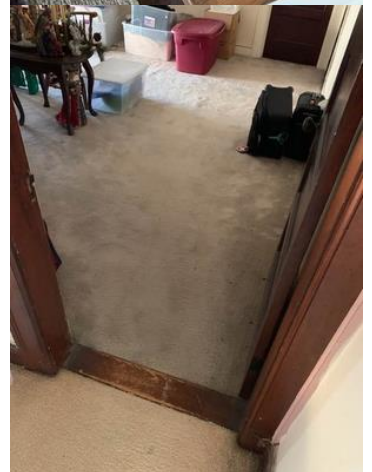
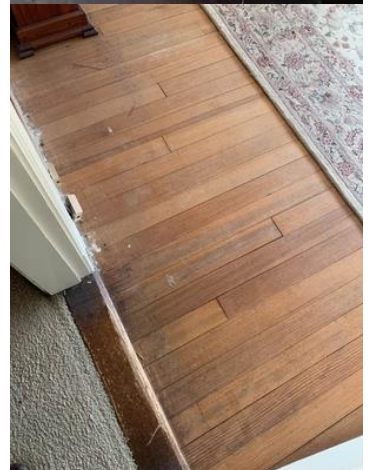
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Ceiling Assessment

The first-floor ceilings are in need of repair. This will be noted in the photos below.

Second floor ceilings appear to be acceptable with any repairs required noted in the photos below.

Third floor ceilings be to be acceptable given the age of the building. Repairs will be noted in photos below.

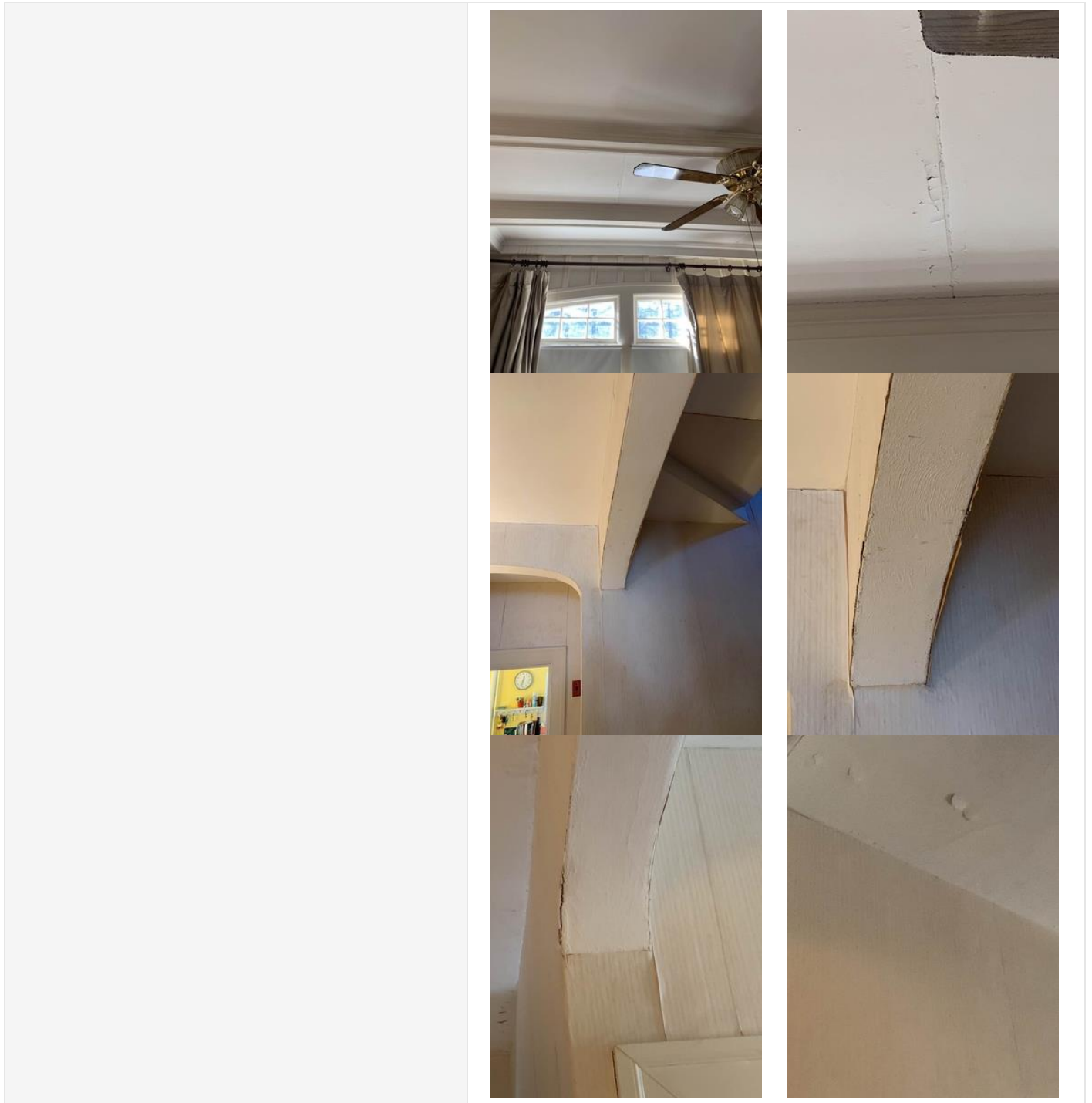
Ceiling Photo





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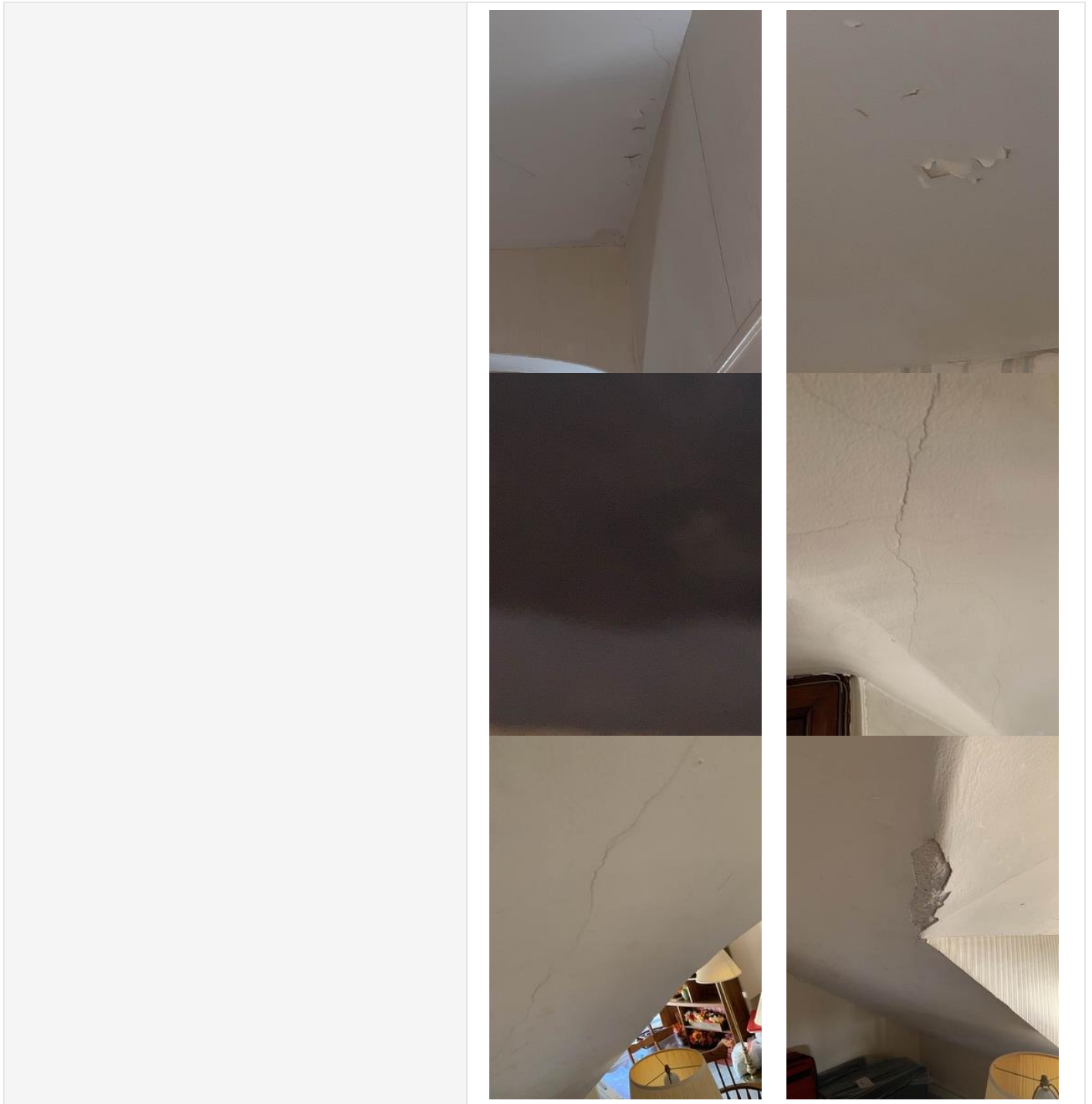
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Wall Assessment	<p>First floor walls are a combination of what appeared to be painted plaster or sheet rock, paneling, and wallpaper. Wallpaper should be stripped and replaced or strip walls prep and paint. Approximately 75% of first floor could be repaired and painted.</p> <p>Majority of wallpaper seams have begun to curl.</p> <p>Second floor walls need repair as noted in photos below.</p> <p>Walls of third floor appear to be acceptable. It would be minor prep required for painting.</p>

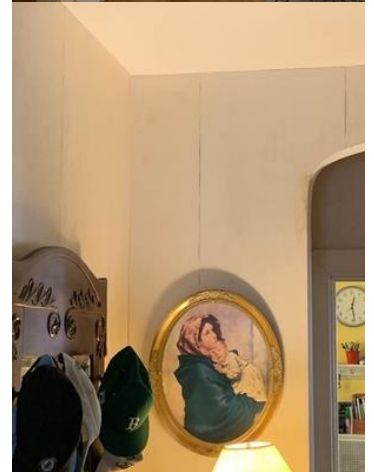


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Third floor windows appear to be original to the building.

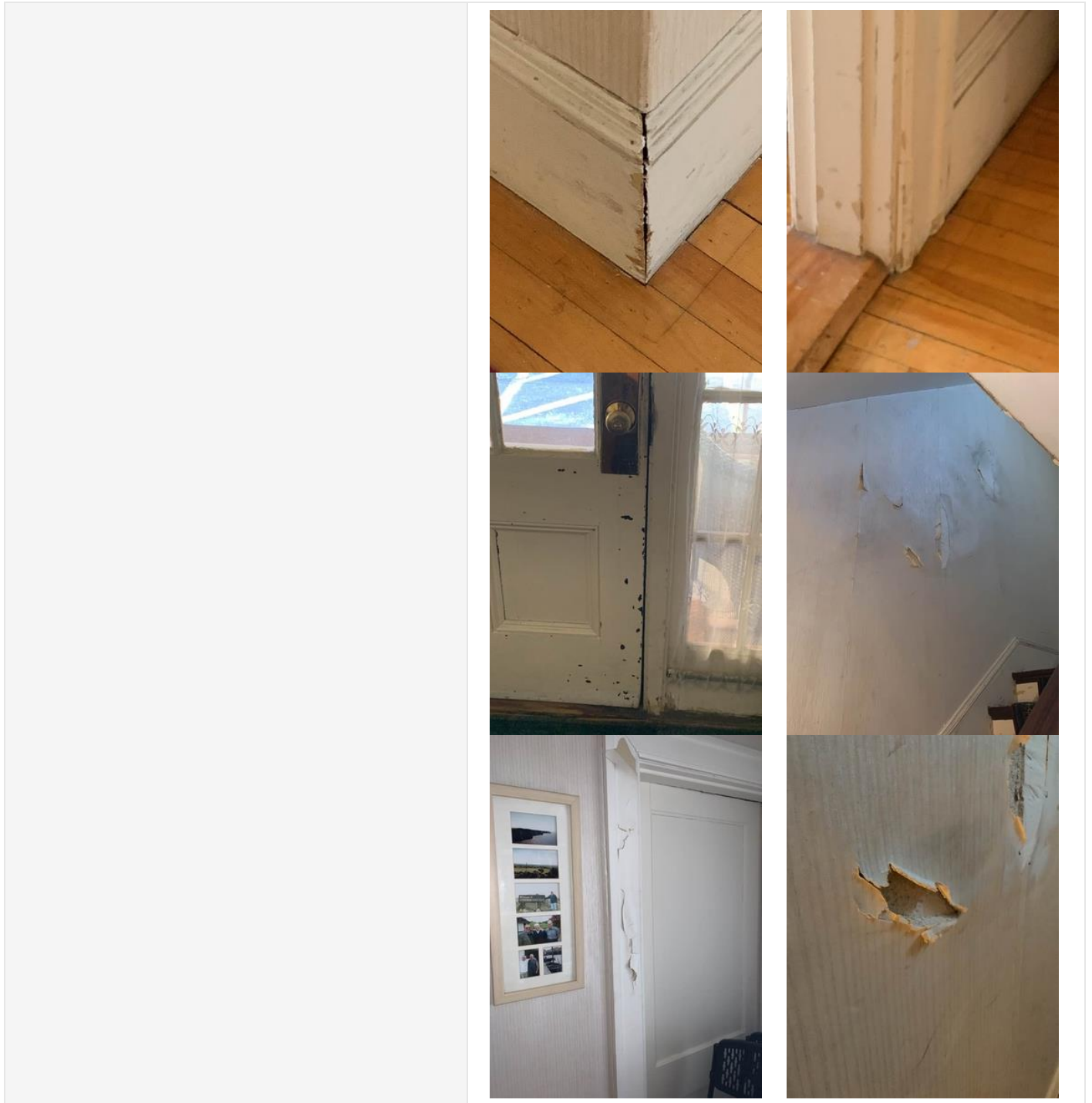
Wall Photo





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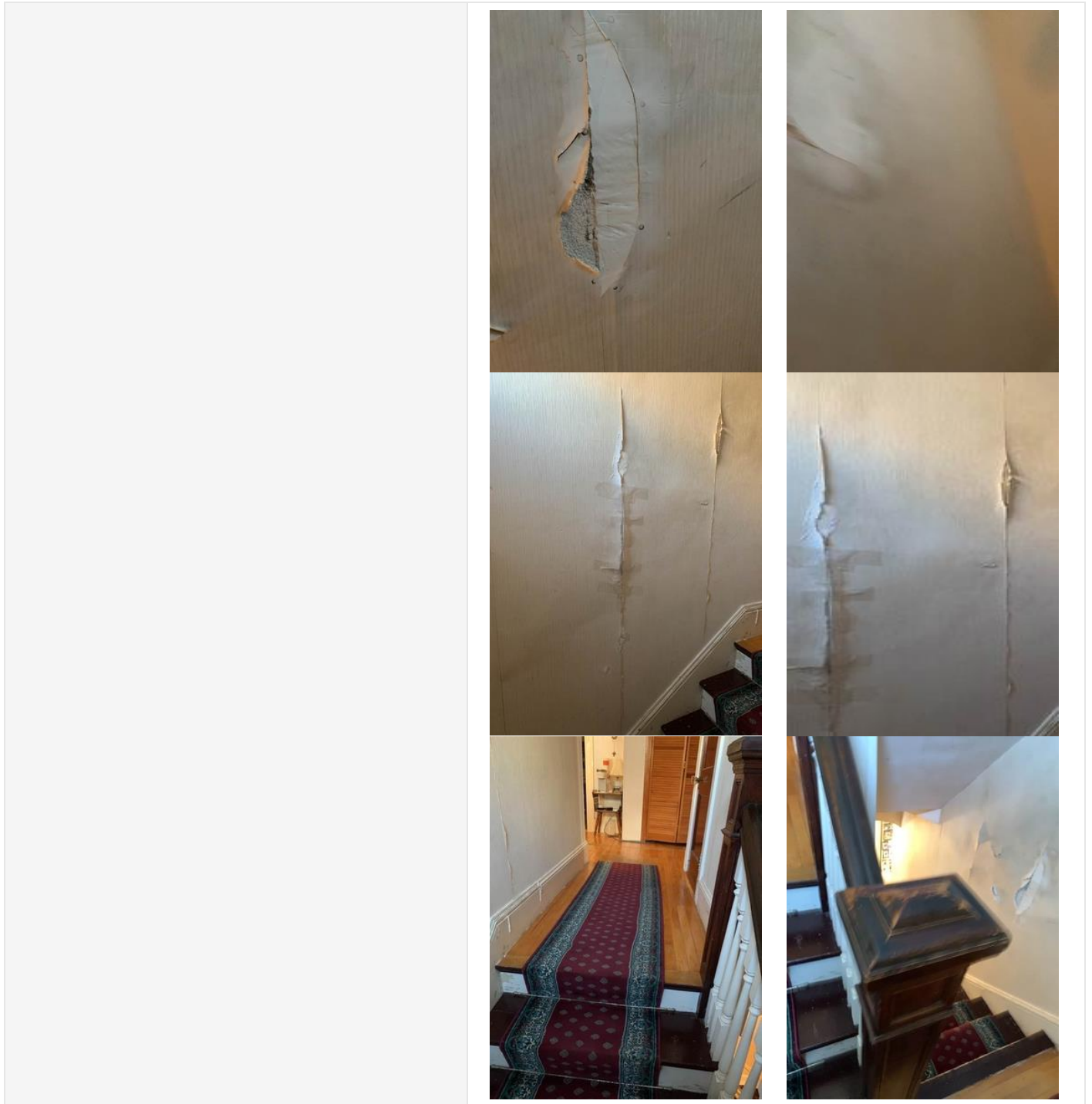
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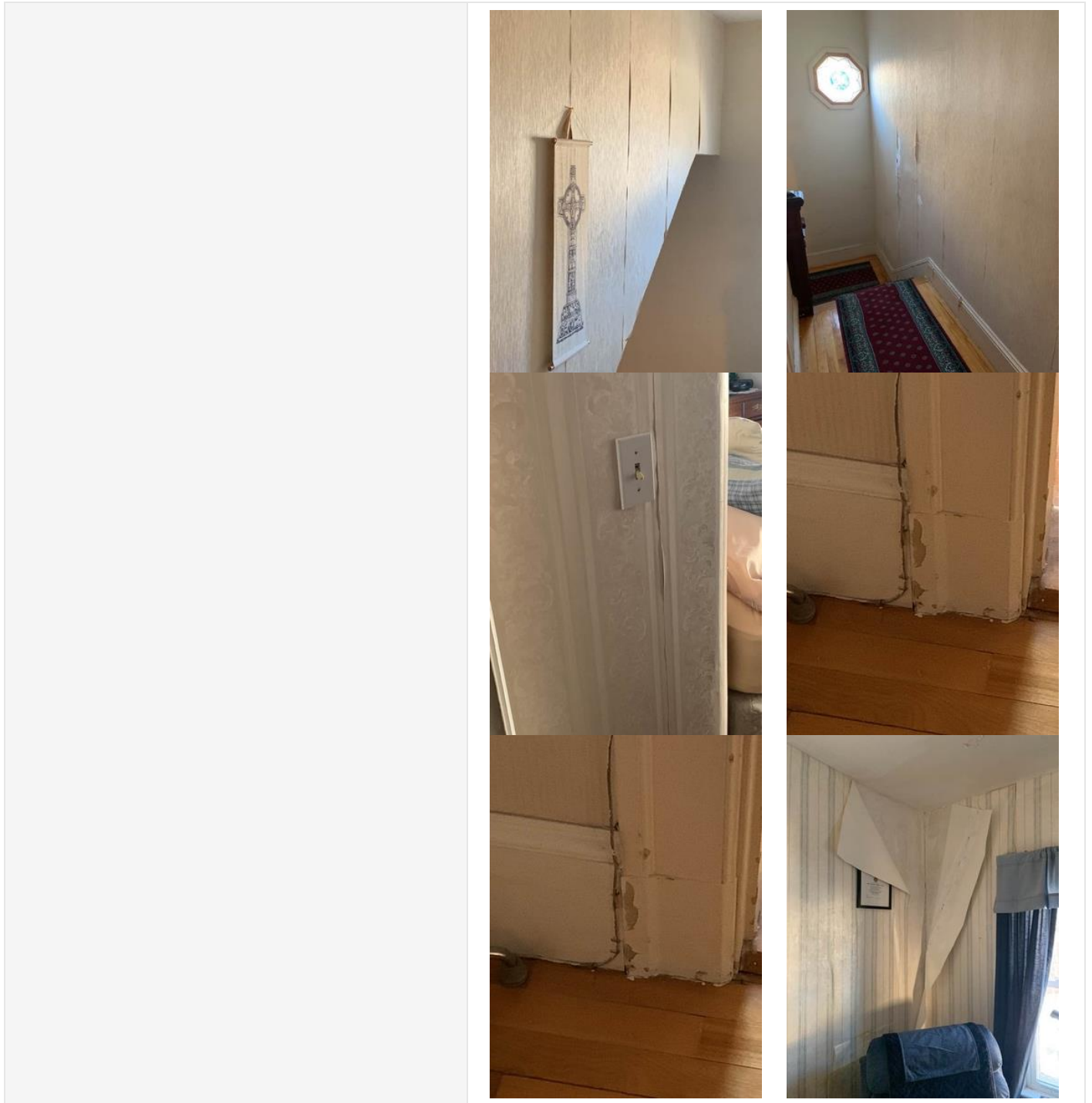
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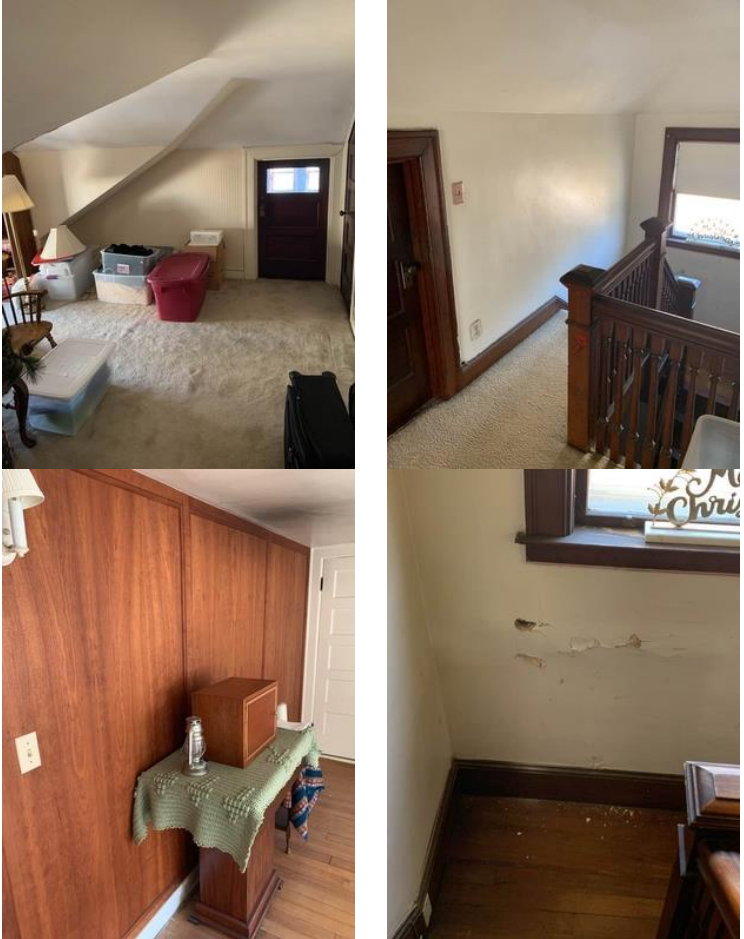
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Door Assessment	<p>First floor doors swing as intended but adjustments would need to be made to confirm catching and latching.</p> <p>Second floor doors are similar to the first.</p> <p>Third floor doors swing, latch and catch as intended.</p>



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Roof and Drainage

Roof Assessment	Asphalt shingle replaced approximately 5 to 10 years ago.
Roof Photo	
Drainage Assessment	Drainage is gravity to grade.
Drainage Photos	



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Exterior Elevations

Exterior Front Wall Assessment

Front elevation appears to be acceptable with repairs required as noted in photos below. Specifically, wooden surfaces need to be scraped, repaired, primed and painted. The stops on the replacement windows should be scraped and painted. There is some pointing required of the granite block of the front stoop, and some resetting of the granite pavers of the walkway.

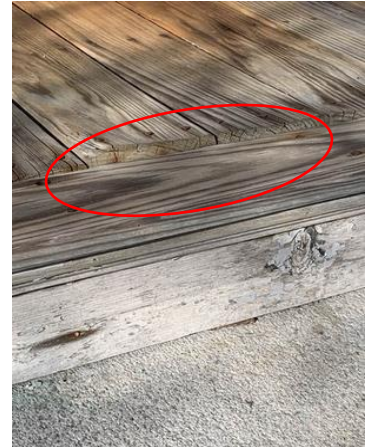
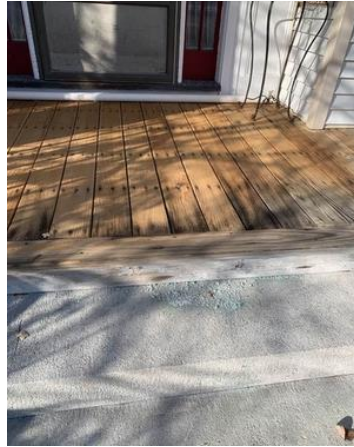
Front Photos



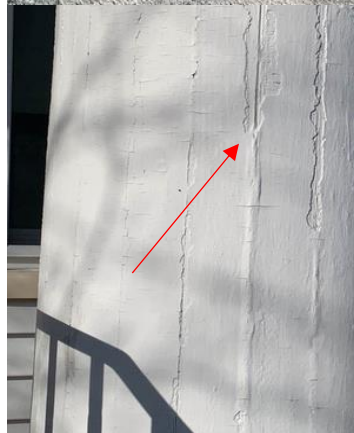


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Trip hazard.



Multiple layers should be ground down.





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Exterior Right Side Wall Assessment

Exterior right elevation appears to be acceptable with minor repairs required as noted in photos below.

Side Photos



Repair, scrape and paint all hopper windows.



Scrape, recaulk stops and paint.



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Exterior Left Side Wall Assessment

Exterior left side of building appears to be acceptable with repairs required as noted in photos below. Repairs are primarily focused on exterior of the sunroom. Columns need to be scraped repaired primed and painted. They should be done sooner than later. It also should be noted recommendation of inspecting the floor framing. The suggestion is based on what appears to be settling of the floor inside.



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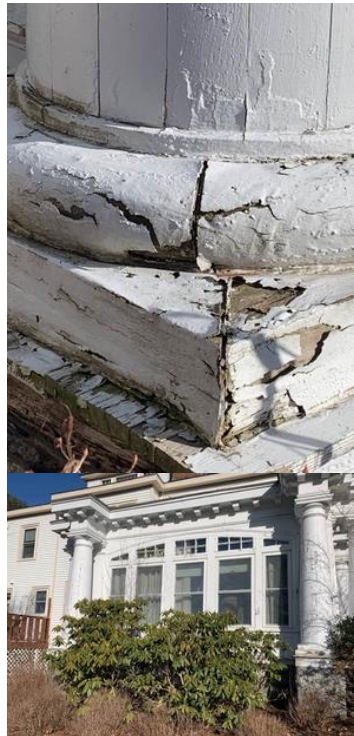
Side Photos





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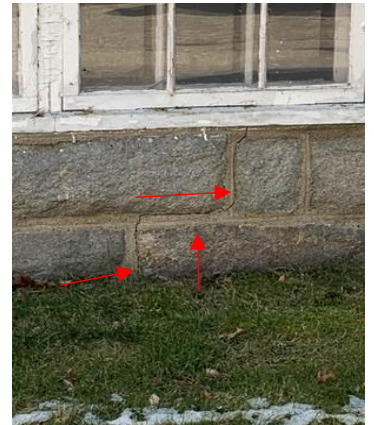
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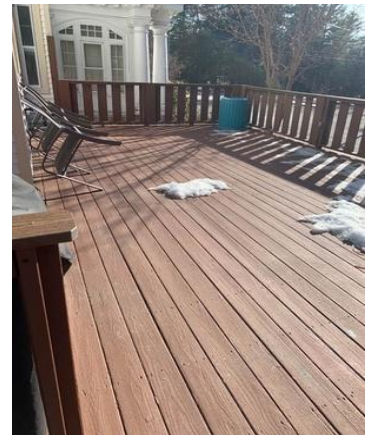
Exterior Rear Wall Assessment

Rear elevation appears to be acceptable. Would recommend low pressure power washing .

Rear Photos



Example of repointing needed.






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Grounds

Grounds Assessment	<p>Rear parking area appears to be acceptable with some crack sealing required would suggest sealing and striping, in six to ten years.</p>
Landscaping Photos	 Three photographs showing landscaping. The top left photo shows a grassy area with trees in the background. The bottom left photo shows a close-up of a building corner with a yellow 'SLOW' sign and a green lawn mower. The right photo shows a view of a two-story building with a lawn and trees.



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Walkway Photos	 

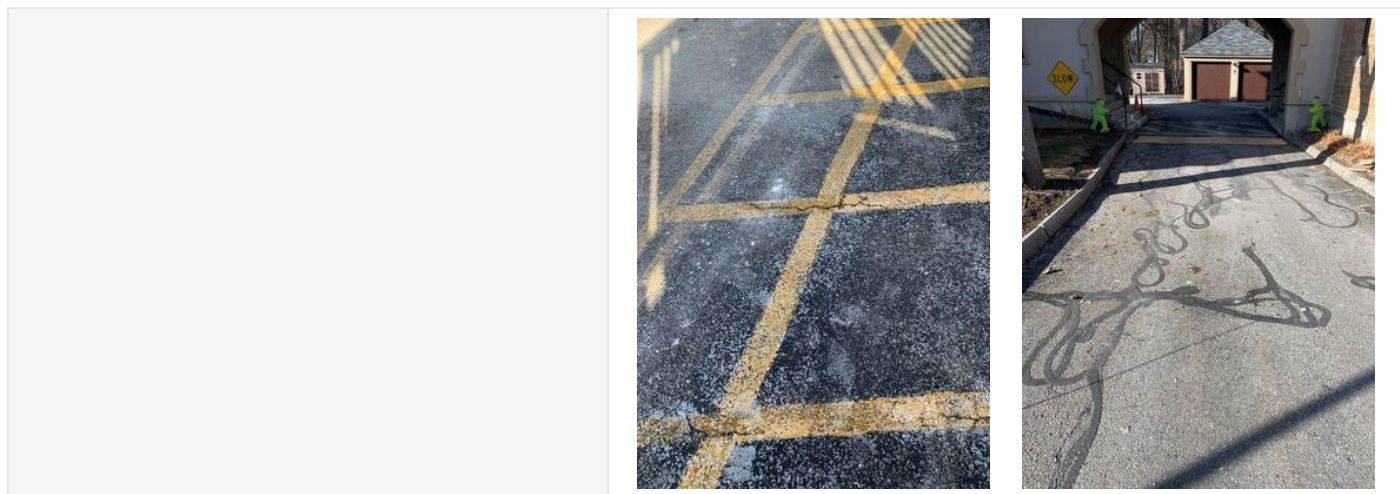


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	 A photograph showing a concrete sidewalk and steps leading up to a building. The sidewalk is made of large, light-colored concrete slabs. The steps are made of concrete and lead up to a building with a white wall and a dark door.
General Grounds Photos	  Two photographs of the grounds. The left photo shows a parking lot with yellow lines, a white car, and a building in the background. The right photo is a close-up of a crack in the asphalt surface, with yellow lines visible on either side.

St. Catherine of Alexandria Rectory, Facilities Assessment





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System Budgeting Numbers

Structural

No repairs required

1-18 months \$0

1-5 years \$0

6-10 years \$0

HVAC

Budget for sealing of smoke pipe, 1-18months, \$225

Budget for repairs of aging boiler, 1-5 years, \$2,500

Budget for repairs of aging boiler, 6-10 years, \$3,200

1-18 months \$225

1-5 years \$2,500

6-10 years \$3,200

Plumbing

Budget for replacement water heater, 6-10 years, \$2,200

Budget for replacement of cast iron drains with PVC, 6-10 years, \$3,800

Budget for replacement of first floor bathroom floor, 1-18 months, \$1,200

Budget for painting of first floor bathroom, 1-18 months, \$1,200

Budget for Second floor bathroom, minor repairs, as noted in photos, 1-18 months, \$1,800

Budget for replacing. Dryer exhaust hose with Rigid aluminum flex, 1-18 months, \$200

Budget for securing washing machine outflow pipe to prevent pop off, 1-18 months, \$75

1-18 months \$4,475

1-5 years \$0

6-10 years \$6,000



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Electrical

Budget to replace smoke detector heads, 1-5 years, \$1,200

1-18 months \$0

1-5 years \$1,200

6-10 years \$0

Interior finishes

Budget for refinishing of hardwood floors, 1-5 years, \$8,300

Budget for ceiling repair throughout building, 1-18 months, \$14,500

Budget for repair and painting. Of walls, as noted in report, 1-18 months, \$20,500

Budget for door repair as noted in report, 1-18 months, \$3,800

1-18 months \$38,800

1-5 years \$8,300

6-10 years \$0

Roofing and Drainage

No repairs required

1-18 months \$0

1-5 years \$0

6-10 years \$0

Exterior Elevations

Budget for front stair repair, painting, and repointing, 1-18months, \$16,500

Budget for the recaulking/painting exterior window stops and basement windows, 1-18months, \$8,800

Budget for resetting pavers as needed in front walk, 1-18months, \$6,200

Budget for sunroom repair, repainting, and assessment of framing, 1-18months, \$14,800

Budget for power washing rear elevation, 1-5 years, \$450

Budget for concrete and repointing repair to foundation and bulkhead area, 1-5 years \$9,300

1-18 months \$46,300

1-5 years \$9,750

6-10 years \$0



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Grounds

Cut back all bushes and shrubs 24 inch from building 1-18 months \$800

Budget for sealing and striping parking area, 6-10 years, \$7800

1-18 months \$800 1-5 years \$0 6-10 years \$7,800

Summary of System Budget Numbers

Structural	1-18 months \$0	1-5 years \$0	6-10 years \$0
HVAC	1-18 months \$225	1-5 years \$2,500	6-10 years \$3,200
Plumbing	1-18 months \$4,475	1-5 years \$0	6-10 years \$6,000
Electrical	1-18 months \$0	1-5 years \$1,200	6-10 years \$0
Interior	1-18 months \$38,800	1-5 years \$8,300	6-10 years \$0
Roofing	1-18 months \$0	1-5 years \$0	6-10 years \$0
Exterior	1-18 months \$46,300	1-5 years \$9,750	6-10 years \$0
<u>Grounds</u>	<u>1-18 months \$800</u>	<u>1-5 years \$7,800</u>	<u>6-10 years \$2,800</u>
Total	1-18 months \$90,600	1-5 years \$29,550	6-10 years \$12,000